

ACTON DPW FACILITY - FEASIBILITY STUDY

DPW CONCEPT ESTIMATES
ACTON, MA
24 SEPTEMBER, 2025



ARROWSTREET INC.

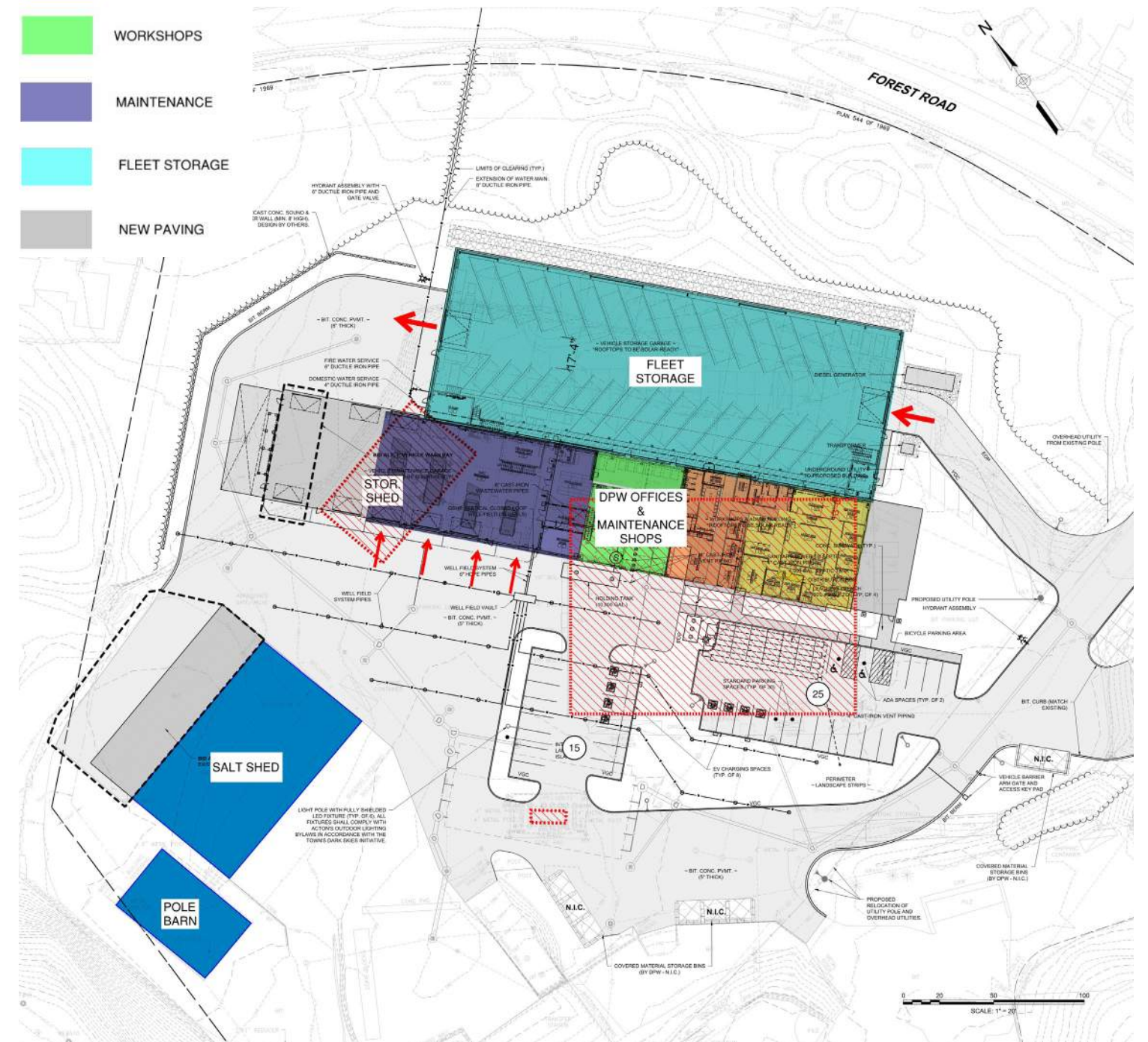


PM&C

26-Aug-25

MAIN CONSTRUCTION COST SUMMARY

LEGEND	
	EXISTING STRUCTURE
	AREA OF DEMOLITION
	ADMIN OFFICES
	STAFF SUPPORT
	WORKSHOPS
	MAINTENANCE
	FLEET STORAGE
	NEW PAVING



OPTION 1 - VE DD SET

LEGEND



EXISTING
STRUCTURE

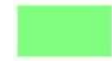


AREA OF
DEMOLITION



ADMIN OFFICES

STAFF SUPPORT



WORKSHOPS



MAINTENANCE

FLEET STORAGE



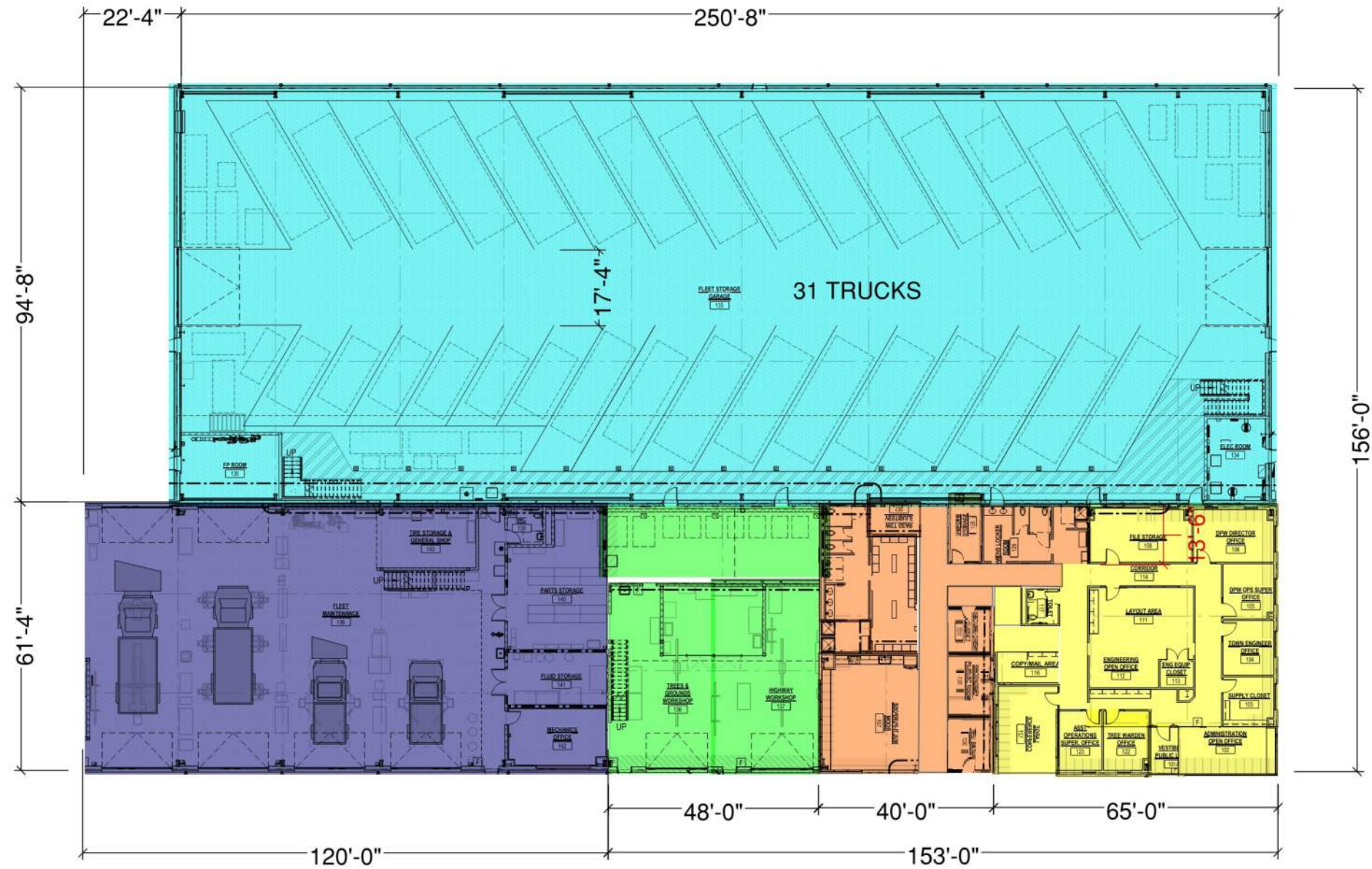
NEW PAVING

SUMMARY OF SCOPE

- Approx. 10% reduction in the W&S DD design building area
- Fleet Storage: maintains W&S DD design

CONSTRAINTS

- Of viable options, highest cost/sf and least cost savings: 13.4% project cost reduction from the W&S DD Design
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 2 RENO



Acton DPW
New Construction + Renovation Options
Acton, MA

26-Aug-25

Conceptual Options

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 2			
RENOVATION	19,200	\$280.37	\$5,383,173
Sitework - Allowance			\$500,000
Demolition of existing DPW building			NR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS			
	19,200	\$314.08	\$6,030,423
Design and Estimating Contingency	15.0%		\$904,563
Escalation to Construction Start (August 2027)	6.00%		\$361,825
SUBTOTAL INCLUDING CONTINGENCIES			
			\$7,296,811
Subcontractor Bonds			
General Conditions	8.0%		In rates \$583,745
General Requirements	2.0%		\$145,936
Winter Conditions			excl
Insurances - GLI/Builders Risk	2.00%		\$145,936
Bond	1.00%		\$72,968
Building Permit			Waived
Overhead & Profit	4.0%		\$291,872
OPTION 2 - TOTAL ESTIMATED CONSTRUCTION COST			
	19,200	\$445	\$8,537,268

LEGEND

EXISTING STRUCTURE

AREA OF DEMOLITION

ADMIN OFFICES

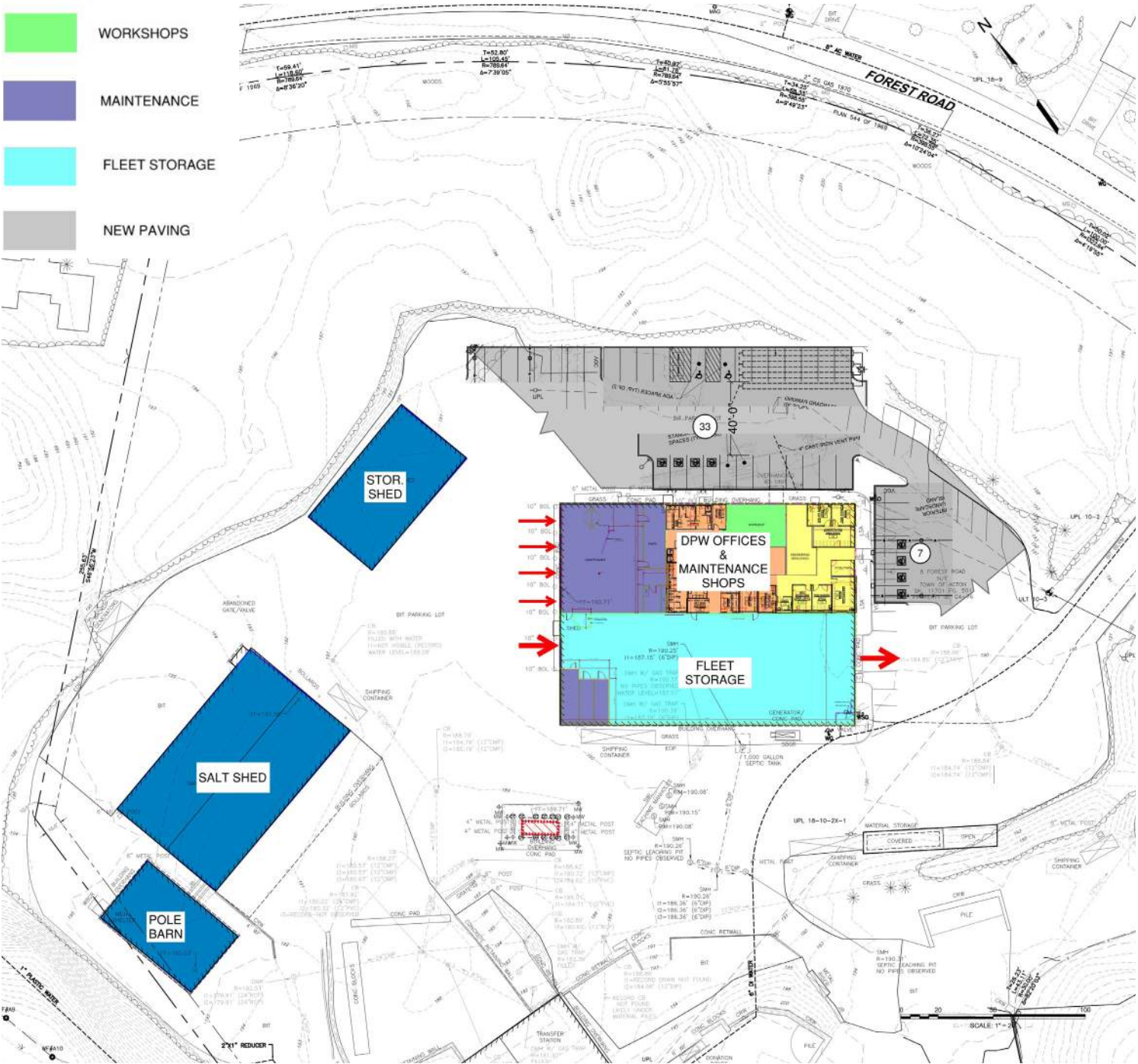
STAFF SUPPORT

WORKSHOPS

MAINTENANCE

FLEET STORAGE

NEW PAVING



OPTION 2 RENO

LEGEND

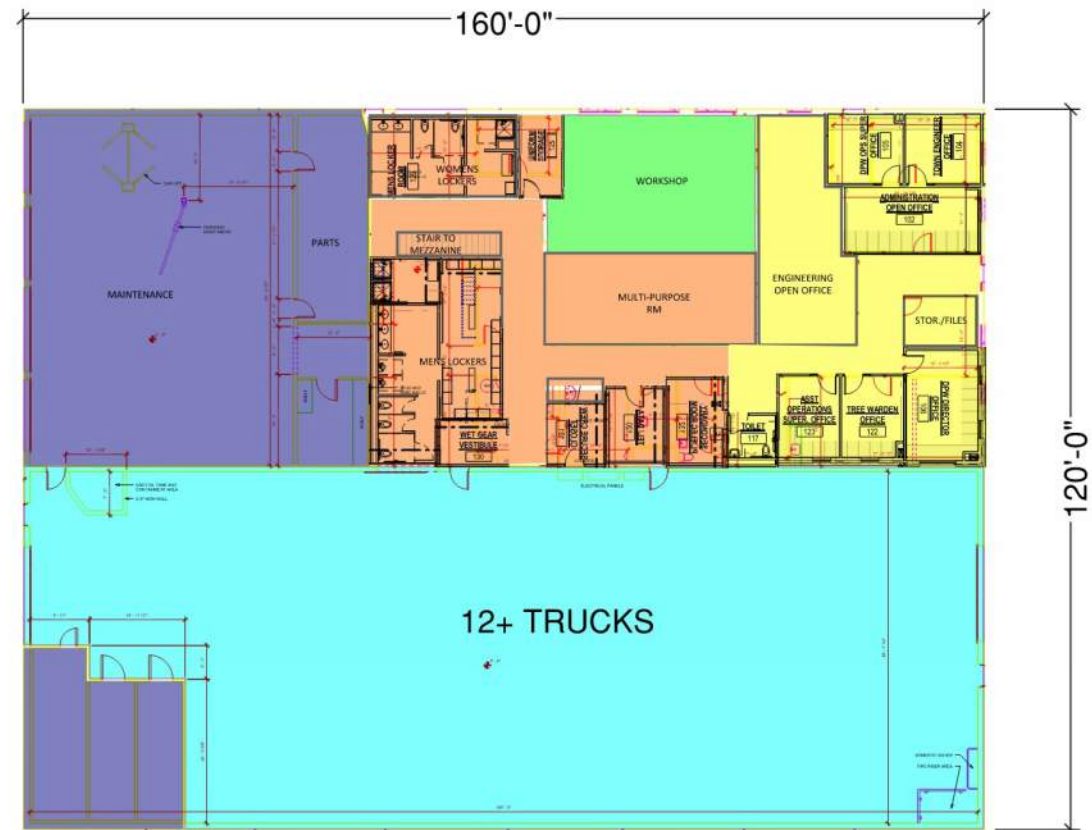


SUMMARY OF SCOPE

- Renovation of the existing building (limited to 30% area) to include:
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces

CONSTRAINTS

- Does not meet program needs
- Meets code minimums required for structural and accessibility upgrades
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 3 RENO + ATTACHED FLEET



Acton DPW
New Construction + Renovation Options
Acton, MA

26-Aug-25

Conceptual Options

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 3			
RENOVATION	9,600	\$362.03	\$3,475,523
NEW ADDITION	23,897	\$421.46	\$10,071,740
Sitework - Allowance			\$2,000,000
Demolition of existing DPW building	9,600	\$10.00	\$96,000
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS			
	33,497	\$471.40	\$15,790,513
Design and Estimating Contingency	15.0%		\$2,368,577
Escalation to Construction Start (August 2027)	6.00%		\$947,431
SUBTOTAL INCLUDING CONTINGENCIES			
			\$19,106,521
Subcontractor Bonds			In rates
General Conditions	8.0%		\$1,528,522
General Requirements	2.0%		\$382,130
Winter Conditions			excl
Insurances - GLI/Builders Risk	2.00%		\$382,130
Bond	1.00%		\$191,065
Building Permit			Waived
Overhead & Profit	4.0%		\$764,261
OPTION 3 - TOTAL ESTIMATED CONSTRUCTION COST			
	33,497	\$667	\$22,354,629

LEGEND

EXISTING STRUCTURE

AREA OF DEMOLITION

ADMIN OFFICES

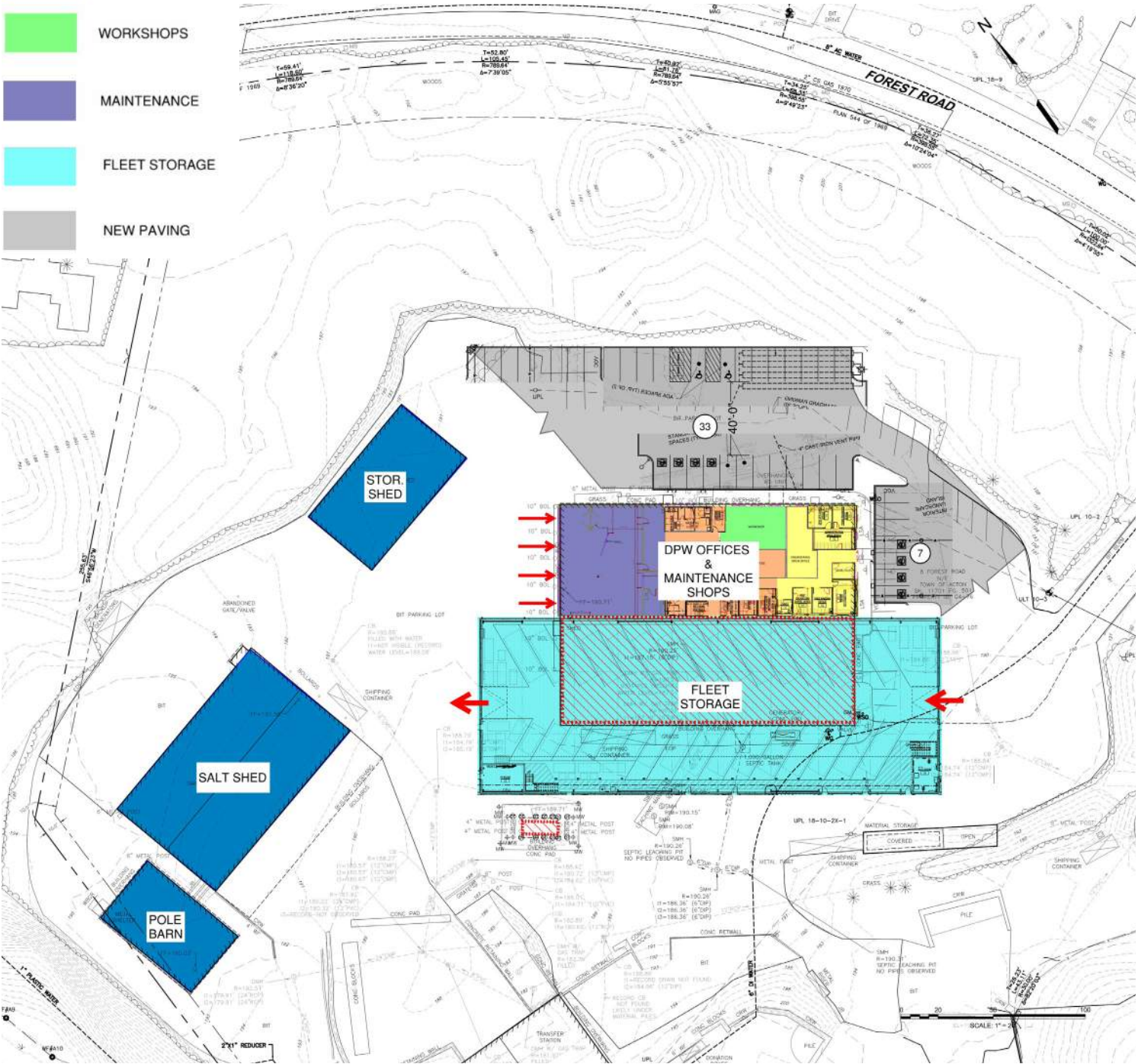
STAFF SUPPORT

WORKSHOPS

MAINTENANCE

FLEET STORAGE

NEW PAVING



OPTION 3 RENO + ATTACHED FLEET

LEGEND

EXISTING STRUCTURE

AREA OF DEMOLITION

ADMIN OFFICES

STAFF SUPPORT

WORKSHOPS

MAINTENANCE

FLEET STORAGE

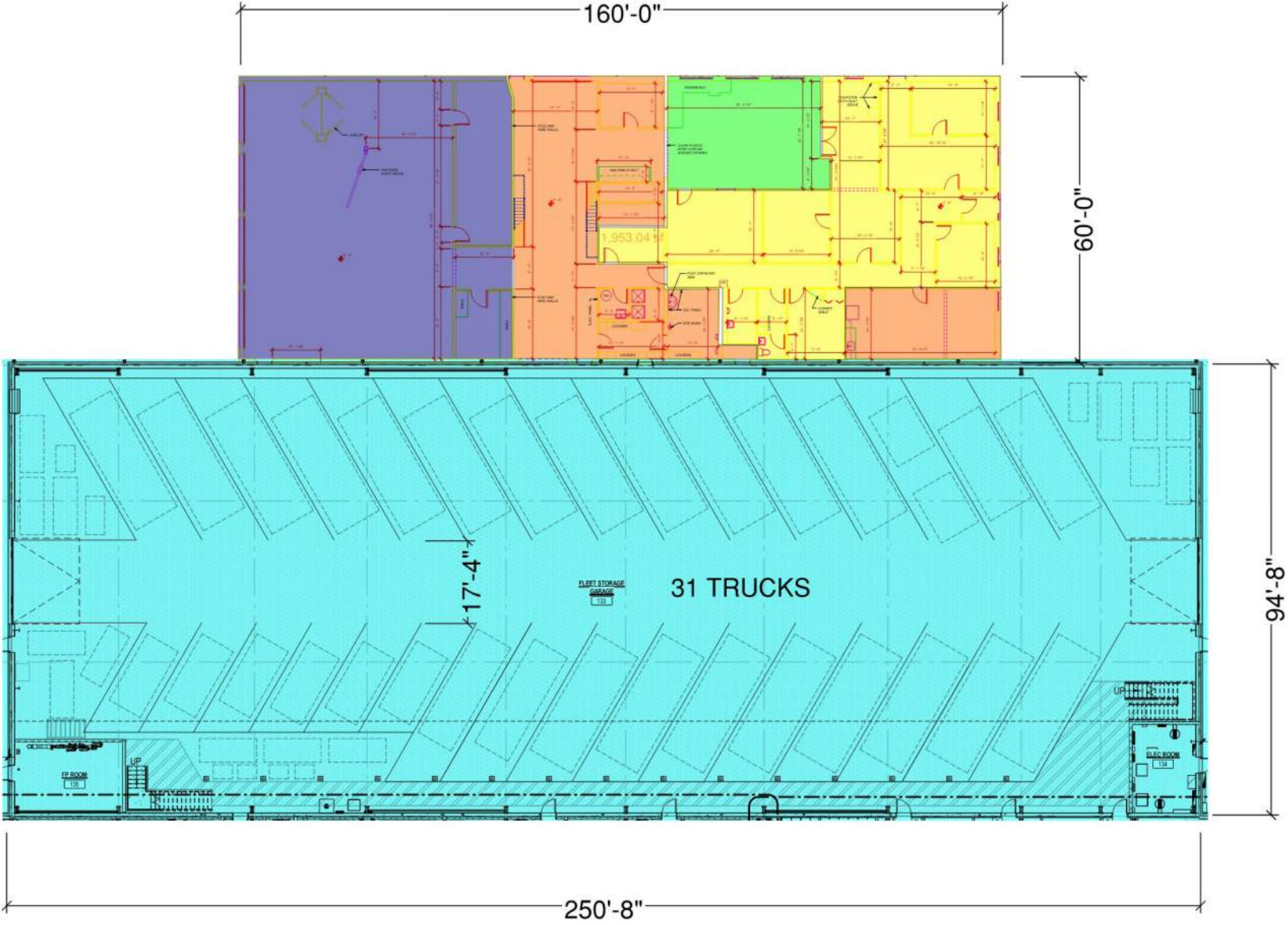
NEW PAVING

SUMMARY OF SCOPE

- Renovation of the northern half of the building to include
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces
- Replaces the southern half with a new fleet storage - addition to match size and layout of W&S DD design

CONSTRAINTS

- Requires most structural upgrades and complexity to add the attached addition
- Does not meet program needs for operations and staff and does not include a wash station
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 4A - RENO + NEW FLEET



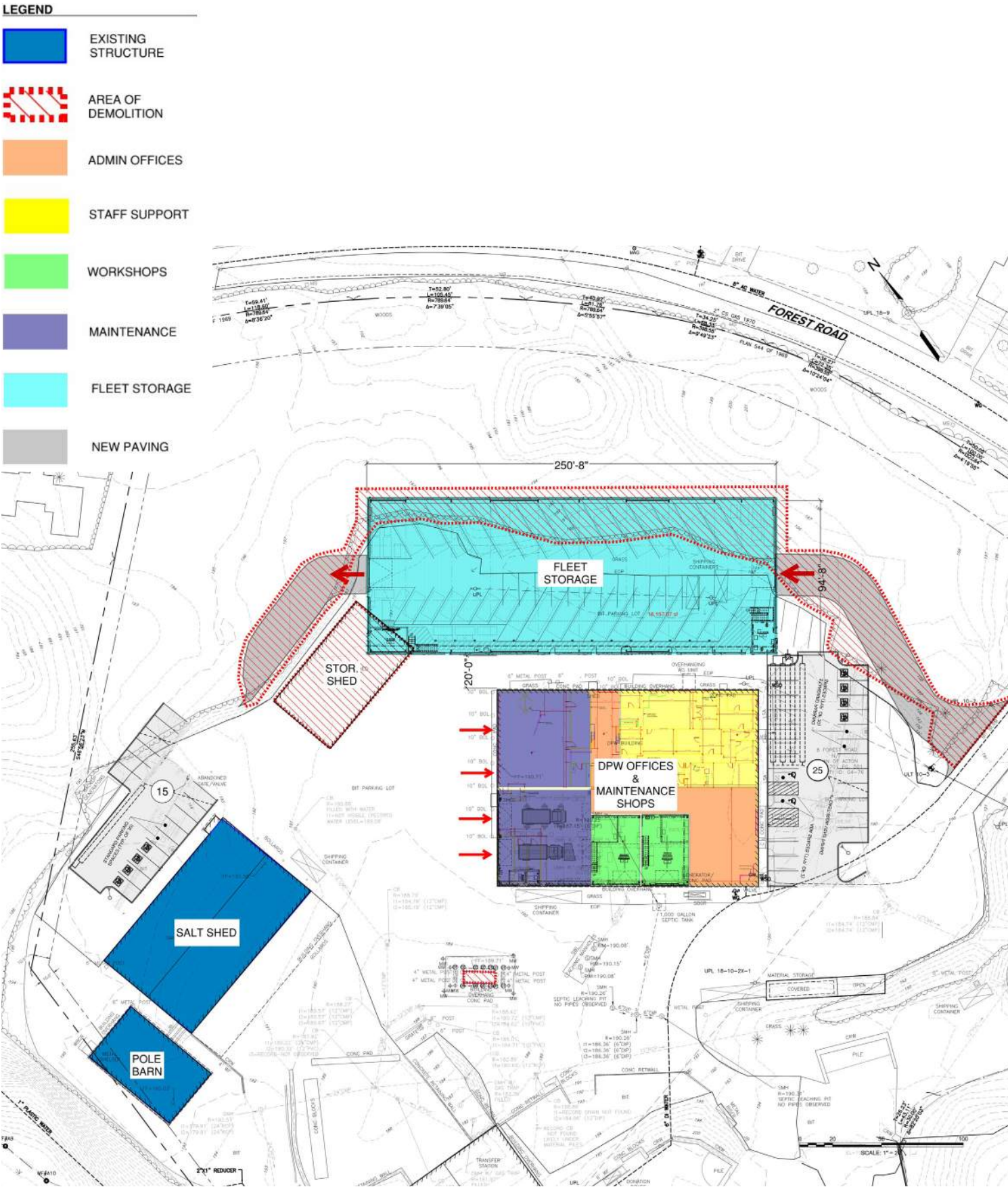
Acton DPW
New Construction + Renovation Options
Acton, MA

26-Aug-25

Conceptual Options

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 4A			
RENOVATION	19,200	\$280.37	\$5,383,173
NEW ADDITION	23,897	\$421.46	\$10,071,740
PREMIUM FOR ADDITIONAL STRUCTURAL WORK			\$250,000
Sitework - Allowance			\$3,000,000
Demolition of existing DPW building			ETR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS			
	43,097	\$437.44	\$18,852,163
Design and Estimating Contingency	15.0%		\$2,827,824
Escalation to Construction Start (August 2027)	6.00%		\$1,131,130
SUBTOTAL INCLUDING CONTINGENCIES			
			\$22,811,117
Subcontractor Bonds			
General Conditions	8.0%		In rates
General Requirements	2.0%		\$1,824,889
Winter Conditions			\$456,222
Insurances - GLI/Builders Risk	2.00%		excl
Bond	1.00%		\$456,222
Building Permit			\$228,111
Overhead & Profit	4.0%		Waived
			\$912,445
OPTION 4A - TOTAL ESTIMATED CONSTRUCTION COST			
	43,097	\$619	\$26,689,006



OPTION 4A - RENO + NEW FLEET

LEGEND

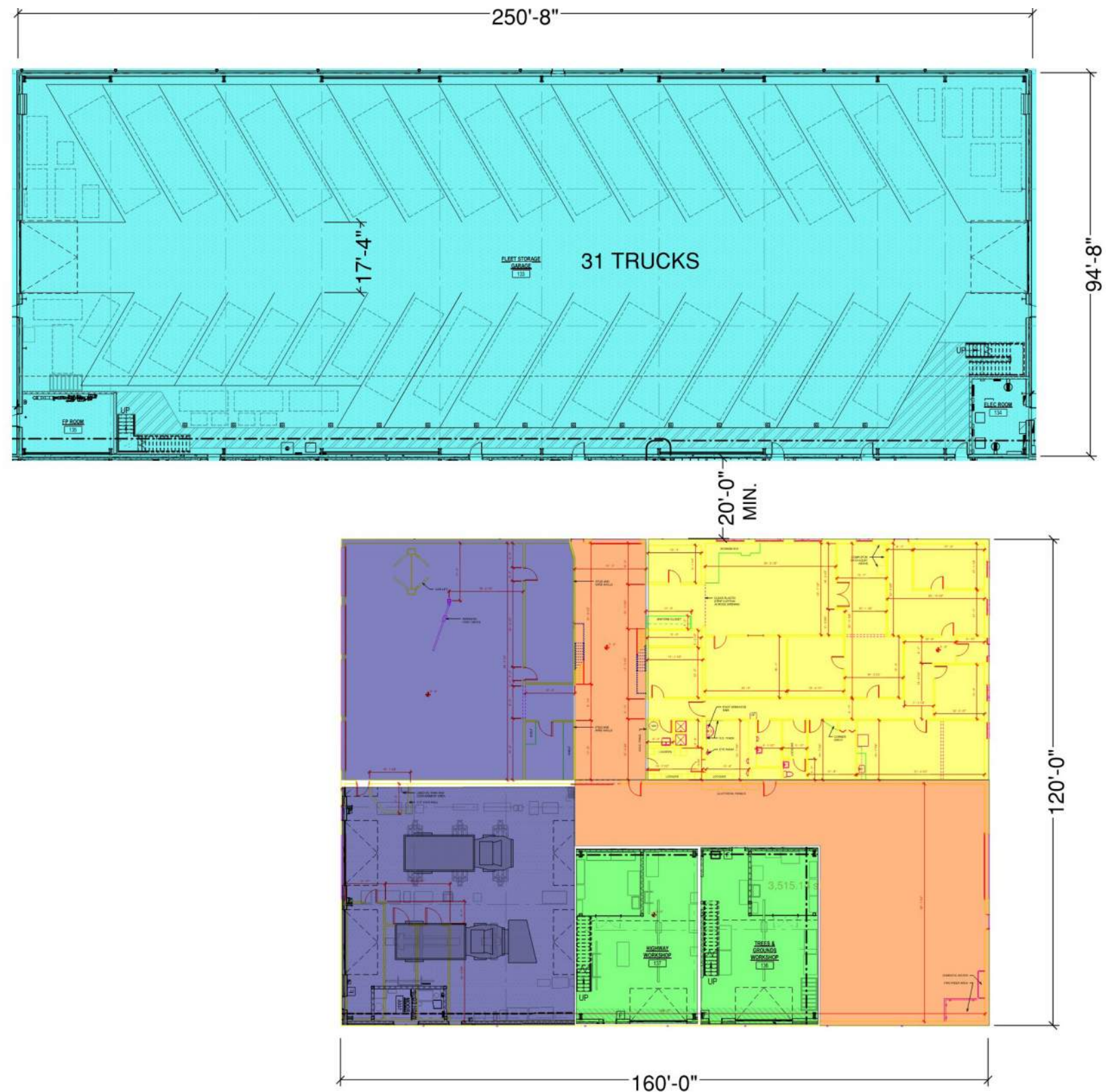


SUMMARY OF SCOPE

- New fleet storage building to match size and layout as W&S DD design
- Renovation of the existing Maintenance/Support/Admin spaces with an expansion into the Fleet Storage space; includes:
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces

CONSTRAINTS

- Renovated building will be less energy efficient than a new building
- Does not accommodate a separate wash station



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 4B - RENO FLEET + NEW ADMIN/SUPPORT/MAINT.



Acton DPW
New Construction + Renovation Options
Acton, MA

26-Aug-25

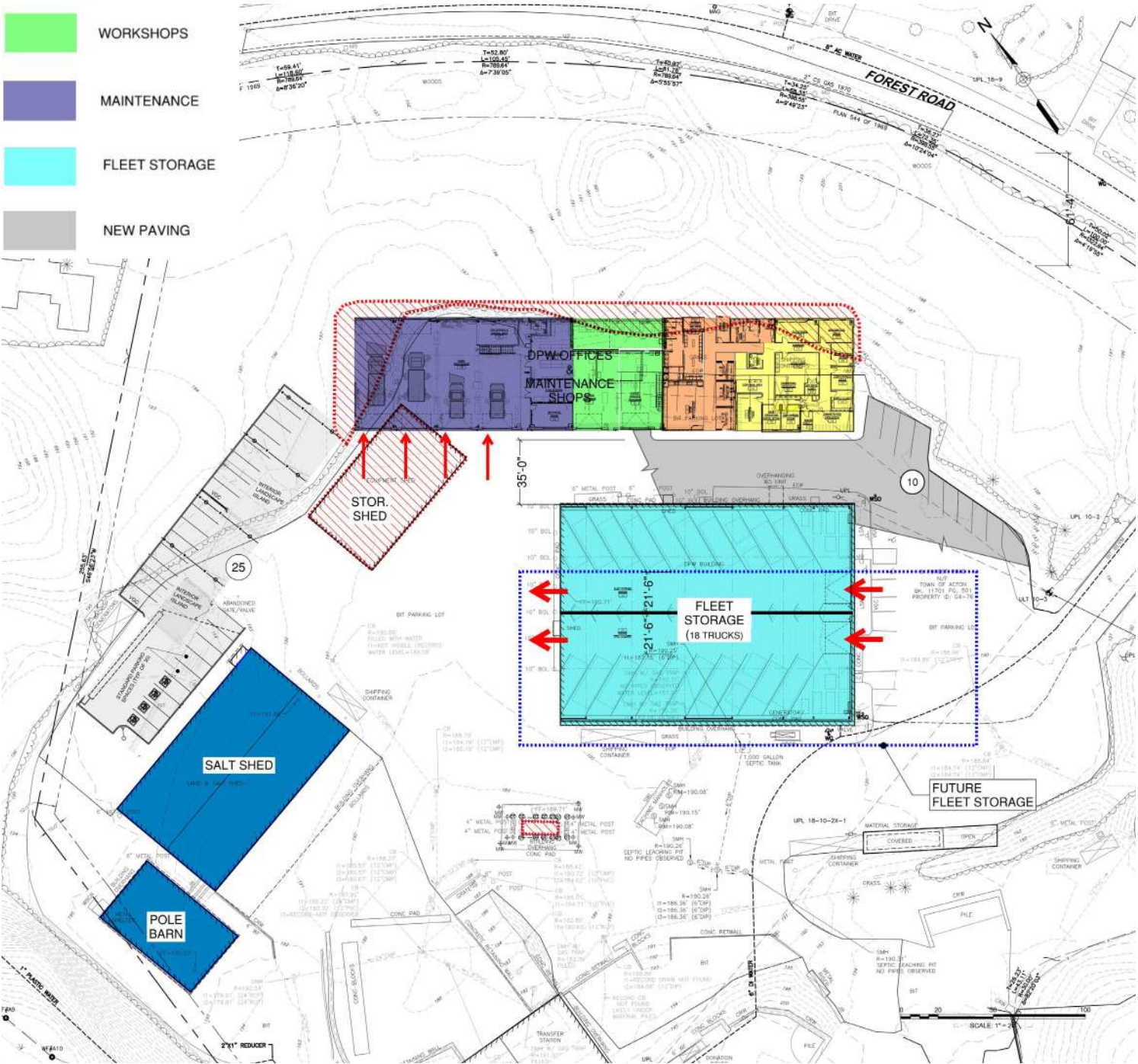
Conceptual Options

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 4B			
RENOVATION	19,200	\$231.81	\$4,450,745
NEW ADDITION	18,323	\$488.44	\$8,949,657
Sitework - Allowance			\$3,000,000
Demolition of existing DPW building			ETR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS			
	37,523	\$441.00	\$16,547,652
Design and Estimating Contingency	15.0%		\$2,482,148
Escalation to Construction Start (August 2027)	6.00%		\$992,859
SUBTOTAL INCLUDING CONTINGENCIES			
			\$20,022,659
Subcontractor Bonds			In rates
General Conditions	8.0%		\$1,601,813
General Requirements	2.0%		\$400,453
Winter Conditions			excl
Insurances - GLI/Builders Risk	2.00%		\$400,453
Bond	1.00%		\$200,227
Building Permit			Waived
Overhead & Profit	4.0%		\$800,906
OPTION 4B - TOTAL ESTIMATED CONSTRUCTION COST			
	37,523	\$624	\$23,426,511

LEGEND

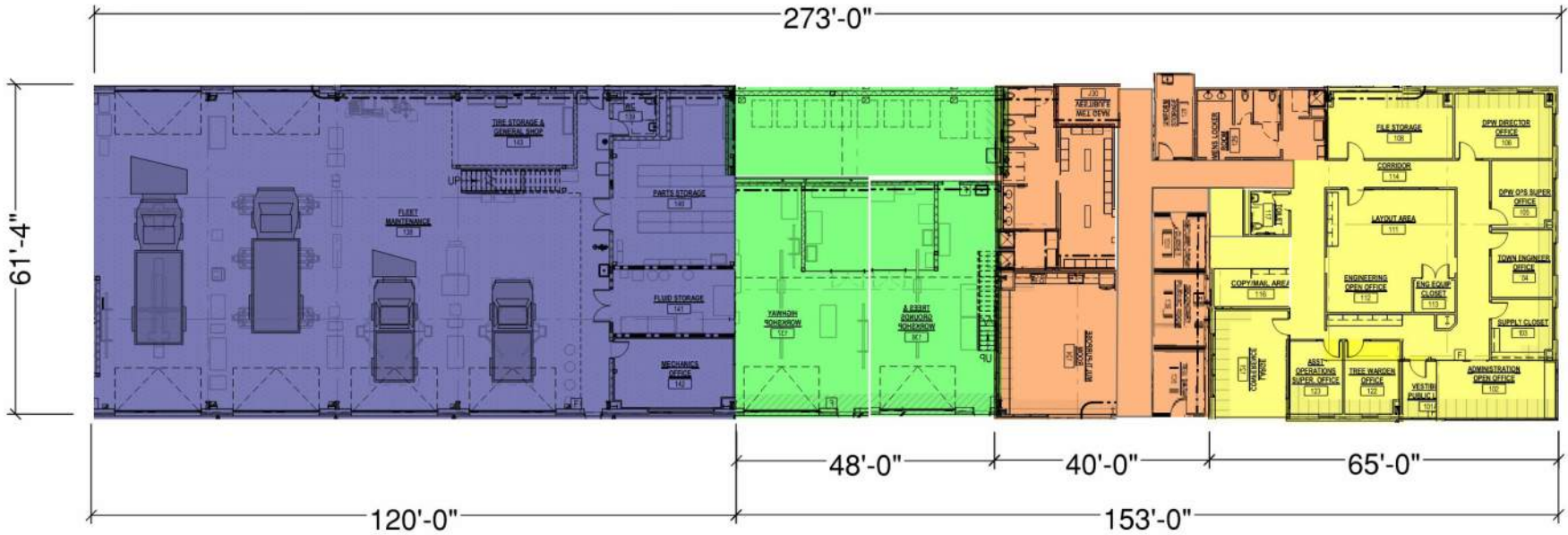
- EXISTING STRUCTURE
- AREA OF DEMOLITION
- ADMIN OFFICES
- STAFF SUPPORT
- WORKSHOPS
- MAINTENANCE
- FLEET STORAGE
- NEW PAVING



OPTION 4B - RENO FLEET + NEW ADMIN/SUPPORT/MAINT.

LEGEND

- EXISTING STRUCTURE
- AREA OF DEMOLITION
- ADMIN OFFICES
- STAFF SUPPORT
- WORKSHOPS
- MAINTENANCE
- FLEET STORAGE
- NEW PAVING

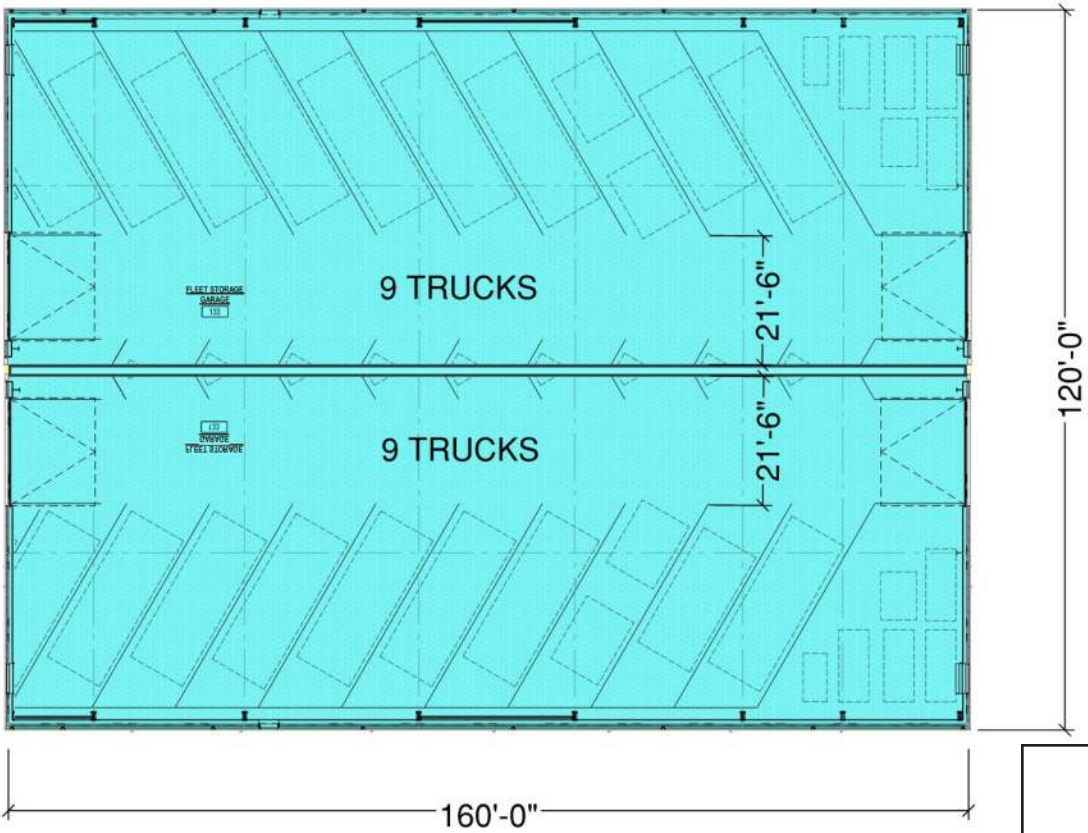


SUMMARY OF SCOPE

- Approx. 10% reduction in the W&S DD design building area
- Existing building is converted to all Fleet storage; includes:
 - structural upgrades
 - repairs to the exterior envelope
 - new electric HVAC system, lighting, and plumbing

CONSTRAINTS

- Needs for truck storage not met, but room for future right-sized new fleet building and possible future wash station
- Limited openings allowed in demising load bearing wall.



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION ESTIMATES

CONCEPT OPTIONS	CONSTR ESTIMATE	AREA	\$/SF	PROJECT ESTIMATE
40% DD (3/27/25 Estim.)	\$29,791,811	44,872 GSF	\$664/SF	\$39,783,199
Option 1: VE New	\$27,551,084	40,641 GSF	\$678/SF	\$34,438,855
Option 2: Reno Existing	\$8,537,268	19,200 GSF	\$445/SF	\$10,671,585
Option 3: Reno + Attached Fleet Storage	\$22,354,629	33,497 GSF	\$667/SF	\$27,943,286
Option 4A: Reno + New Fleet Storage	\$26,689,006	43,097 GSF	\$619/SF	\$33.361,256
Option 4B: Reno + New Admin/Maint	\$23,426,511	37,523 GSF	\$624/SF	\$29,283,139

NOTES:

- 1. 6% escalation of Construction Estimate assumed for Aug. '27 construction start, included in Project Estimates
- 2. Project Estimates based on 125% of Construction Estimate

OPTION PROGRAM AREA COMPARISON

OPTION	FLEET STORAGE AREA	ADMIN. AREA	STAFF SUPPORT AREA	WORKSHOPS AREA	MAINT. AREA	WASH STATION	MEZZANINE STORAGE (<i>not included in GSF</i>)	TOTAL GSF	% GSF Reduction from DD
40% DD (3/27/25 Estim.)	23,897	4,677	3,268	3,502	7,893	1,635	8,350	44,872	
Option 1: VE New	23,897	3,690	2,750	2,944	7,360	0	8350	40,641	9%
Option 2: Reno Existing	8,867	2,363	3,000	792	4,178	0	1000	19,200	
Option 3: Reno + Attached Fleet Storage	23,897	2,363	3,000	792	3,445	0	7,000	33,497	25%
Option 4A: Reno + New Fleet Storage	23,897	5,060	4,570	2,650	6,920	0	7,000	43,097	4%
Option 4B: Reno + New Admin/Maint	19,200	4,864	3,492	2,840	7,127	0	3,350	37,523	16%

OPTION SCORES

OPTION SCORES		40% DD 3/27/25 Estim. + 3/28/25 Dwgs. SCORE		OPTION 1: VE of 40% DD New Bldg SCORE		OPTION 2: Reno Existing SCORE		OPTION 3: Reno + Attached Fleet Storage SCORE		OPTION 4A: Reno + New Fleet Storage SCORE		OPTION 4B: Reno + New Admin/Maint SCORE	
PROJECT COST	CONST + INDIR. **	\$39,783,199	0	\$34,438,855	3	\$10,671,585	5	\$27,943,286	5	\$33.361,256	3	\$29,283,139	4
	AREA	44,872 SF	5	40,641 SF	4	19,200 SF	0	33,977 SF	3	43,097 SF	5	37,523 SF	4
	COST/SF	\$887		\$678		\$445		\$667		\$619		\$624	
PROGRAM	FLEET STORAGE	31 Veh.	5	31 veh.	5	12 +/- veh.	1	31 veh.	5	31 veh.	5	18 veh.	3
	ADMIN.		5	Shared kit, conf rms	4	Reno only	1	Reno only	1	Reno + Expansion	4	Shared kit, conf rms	4
	STAFF SUPPORT		5	Slightly reduced area	4	Reno only	1	Reno only	1	Reno + Expansion	5	Slightly reduced area	4
	WORKSHOPS		5	Slightly reduced area	4	Reno only	1	Reno only	1	Reno + Expansion	4	Slightly reduced area	4
	MAINTENANCE		5	Same as 40% DD	5	Reno only	1	Reno only	1	Reno + Expansion	5	Same as 40% DD	5
	MEZZANINE STOR.		5	Same as 40% DD	5	Reno only	1	Reno + New	4	Reno + New	4	In new Bldg only	3
	WASH STATION	Alt. for future	5	Alt. for future	5	Reno only	0		0		0		0
	SUBTOTAL		35		32		6		13		27		23
SITE	PARKING	40 spaces	5	40 spaces	5	40 spaces	5	40 spaces	5	40 spaces	5	35 spaces	4
	CIRCULATION		5		4		2		4		4		4
	ABUTTER IMPACTS	Operations shielded	5	Operations shielded	5	Operations exposed	0	Operations exposed	0	Operations shielded	5	Operations shielded	5
	SUBTOTAL		15		14		7		9		14		13
SCHEDULE/PHASING		Req. relocations	0	Req. relocations	0	Req. relocations		Can be phased	5	Can be phased	5	Can be phased	5
TOTAL SCORE													
			55		53		18		35		54		49

NOTES:
1. 31 vehicles includes winter fleet
2. Wash Station not included in concept option areas
3. Parking: provides separate parking for staff and visitors, meets # of spaces per W&S Study
4. Circulation: provides operational efficiency for DPW fleet
5. Abutter Impacts: minimizes noises in to neighborhood
** Includes 6% Escalation for Aug '27 start (Note: 40% DD Proj. Cost estimate from 3/25 was \$37,995,690)

OPTION SCORES

OPTION SCORES		40% DD 3/27/25 Estim. + 3/28/25 Dwgs.		OPTION 1: VE of 40% DD New Bldg		OPTION 4A: Reno + New Fleet Storage		OPTION 4B: Reno + New Admin/Maint	
			SCORE		SCORE		SCORE		SCORE
PROJECT COST	CONST + INDIR. **	\$39,783,199	0	\$34,438,855	3	\$33,361,256	3	\$29,283,139	4
	AREA	44,872 SF	5	40,641 SF	4	43,097 SF	5	37,523 SF	4
	COST/SF	\$887		\$678		\$619		\$624	
PROGRAM	FLEET STORAGE	31 Veh.	5	31 veh.	5	31 veh.	5	18 veh.	3
	ADMIN.		5	Shared kit, conf rms	4	Reno + Expansion	4	Shared kit, conf rms	4
	STAFF SUPPORT		5	Slightly reduced area	4	Reno + Expansion	5	Slightly reduced area	4
	WORKSHOPS		5	Slightly reduced area	4	Reno + Expansion	4	Slightly reduced area	4
	MAINTENANCE		5	Same as 40% DD	5	Reno + Expansion	5	Same as 40% DD	5
	MEZZANINE STOR.		5	Same as 40% DD	5	Reno + New	4	In new Bldg only	3
	WASH STATION	Alt. for future	5	Alt. for future	5		0		0
	SUBTOTAL		35		32		27		23
SITE	PARKING	40 spaces	5	40 spaces	5	40 spaces	5	35 spaces	4
	CIRCULATION		5		4		4		4
	ABUTTER IMPACTS	Operations shielded	5	Operations shielded	5	Operations shielded	5	Operations shielded	5
	SUBTOTAL		15		14		14		13
SCHEDULE/PHASING		Req. relocations	0	Req. relocations	0	Can be phased	5	Can be phased	5
TOTAL SCORE			55		53		54		49

NOTES:
1. 31 vehicles includes winter fleet
2. Wash Station not included in concept option areas
3. Parking: provides separate parking for staff and visitors, meets # of spaces per W&S Study
4. Circulation: provides operational efficiency for DPW fleet
5. Abutter Impacts: minimizes noises in to neighborhood
** Includes 6% Escalation for Aug '27 start (Note: 40% DD Proj. Cost estimate from 3/25 was \$37,995,690)