

ACTON DPW FACILITY - FEASIBILITY STUDY

DPW CONCEPT ESTIMATES
ACTON, MA
24 SEPTEMBER, 2025



ARROWSTREET INC.



OPTION 1 - VE DD SET

PM&C

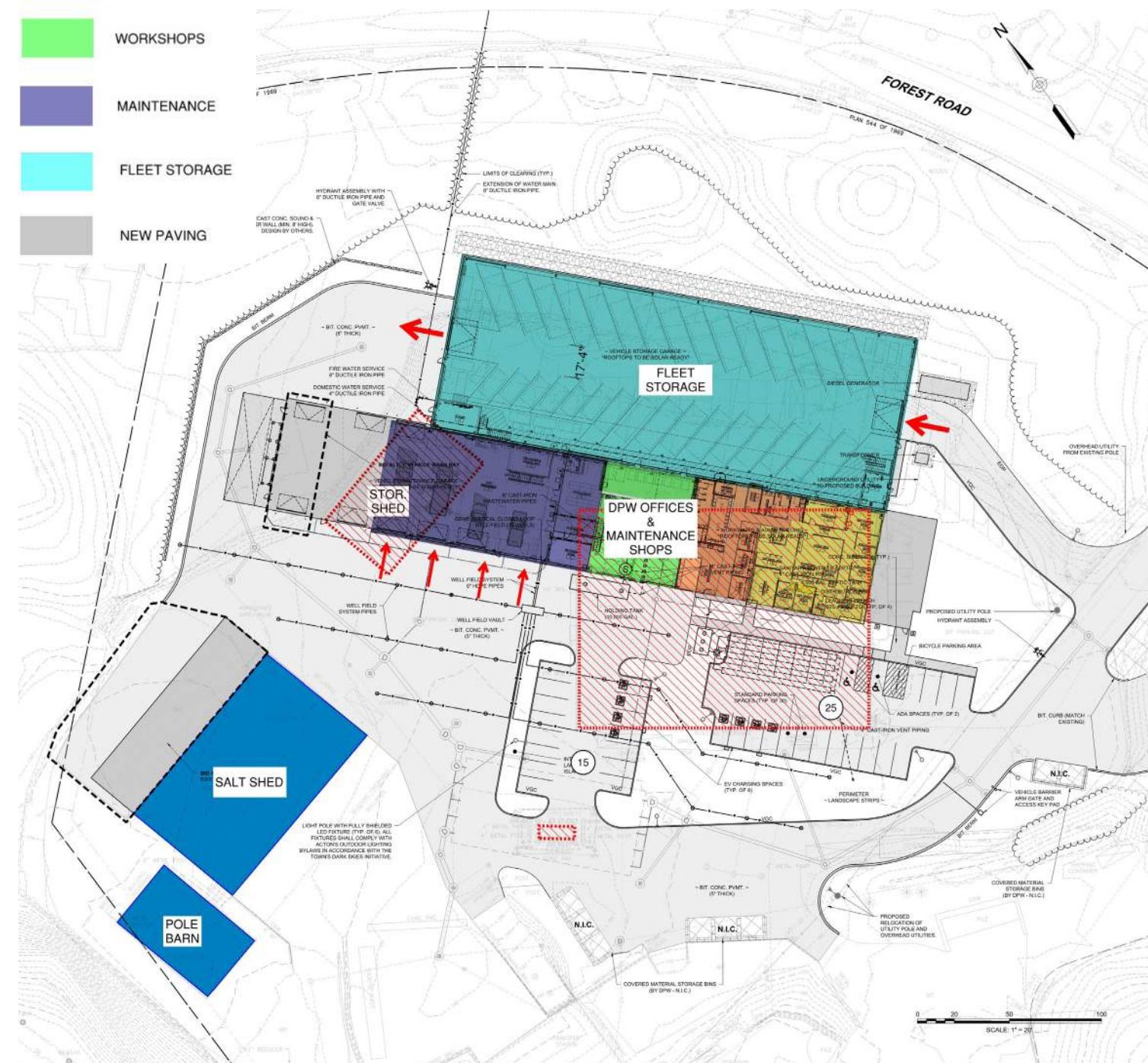
Acton DPW
New Construction + Renovation Options
Acton, MA

Conceptual Options

26-Aug-25

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 1			
NEW BUILDING	40,641	\$413.33	\$16,798,216
Sitework			\$3,520,617
Demolition of existing DPW building	19,000	\$10.00	\$190,000
Demolition of existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS	40,641	\$508.26	\$20,656,083
Design and Estimating Contingency	8.0%		\$1,652,487
Escalation to Construction Start (August 2027)	6.00%		\$1,239,365
SUBTOTAL INCLUDING CONTINGENCIES			\$23,547,935
Subcontractor Bonds		In rates	
General Conditions	8.0%	\$1,883,835	
General Requirements	2.0%	\$470,959	
Winter Conditions		excl	
Insurances - GLI/Builders Risk	2.00%	\$470,959	
Bond	1.00%	\$235,479	
Building Permit		Waived	
Overhead & Profit	4.0%	\$941,917	
OPTION 1 - TOTAL ESTIMATED CONSTRUCTION COST	40,641	\$678	\$27,551,084



OPTION 1 - VE DD SET

LEGEND

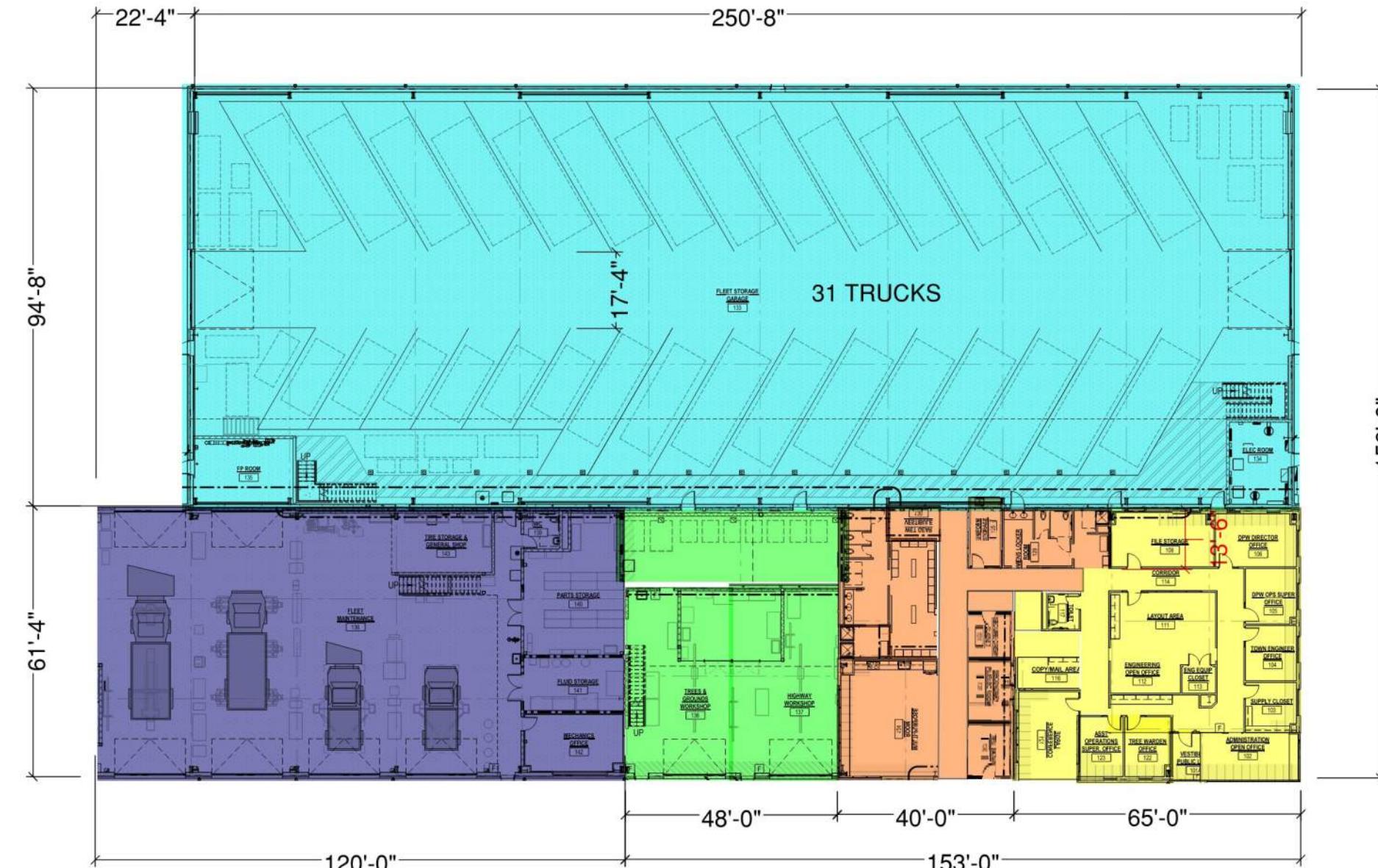
	EXISTING STRUCTURE
	AREA OF DEMOLITION
	ADMIN OFFICES
	STAFF SUPPORT
	WORKSHOPS
	MAINTENANCE
	FLEET STORAGE
	NEW PAVING

SUMMARY OF SCOPE

- Approx. 10% reduction in the W&S DD design building area
- Fleet Storage: maintains W&S DD design

CONSTRAINTS

- Of viable options, highest cost/sf and least cost savings: 13.4% project cost reduction from the W&S DD Design
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 2 RENO

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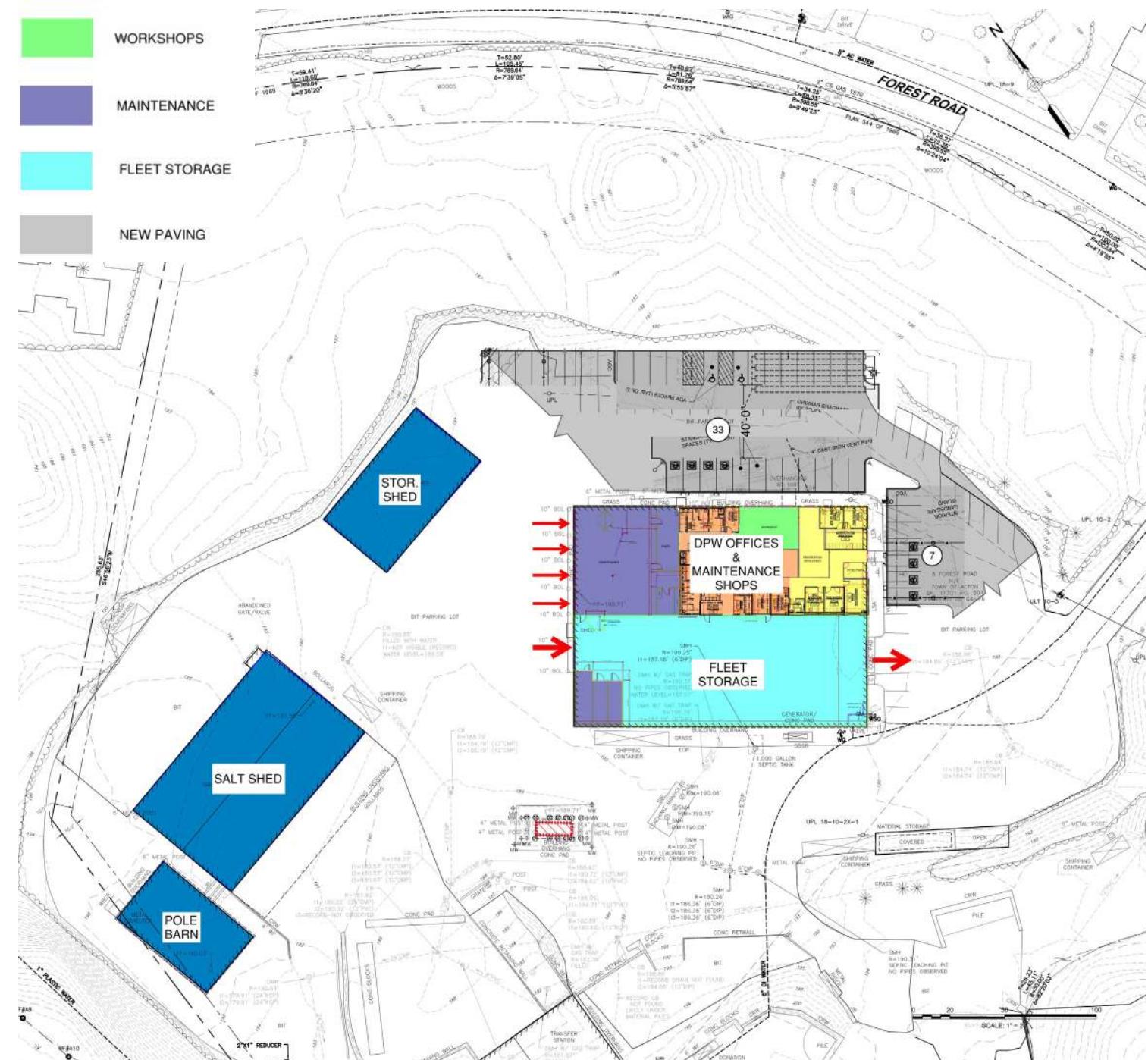
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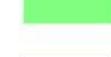
MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 2			
RENOVATION	19,200	\$280.37	\$5,383,173
Sitework - Allowance			\$500,000
Demolition of existing DPW building			NR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS	19,200	\$314.08	\$6,030,423
Design and Estimating Contingency	15.0%		\$904,563
Escalation to Construction Start (August 2027)	6.00%		\$361,825
SUBTOTAL INCLUDING CONTINGENCIES			
Subcontractor Bonds		In rates	
General Conditions	8.0%		\$583,745
General Requirements	2.0%		\$145,936
Winter Conditions		excl	
Insurances - GLI/Builders Risk	2.00%		\$145,936
Bond	1.00%		\$72,968
Building Permit		Waived	
Overhead & Profit	4.0%		\$291,872
OPTION 2 - TOTAL ESTIMATED CONSTRUCTION COST	19,200	\$445	\$8,537,268



OPTION 2 RENO

LEGEND

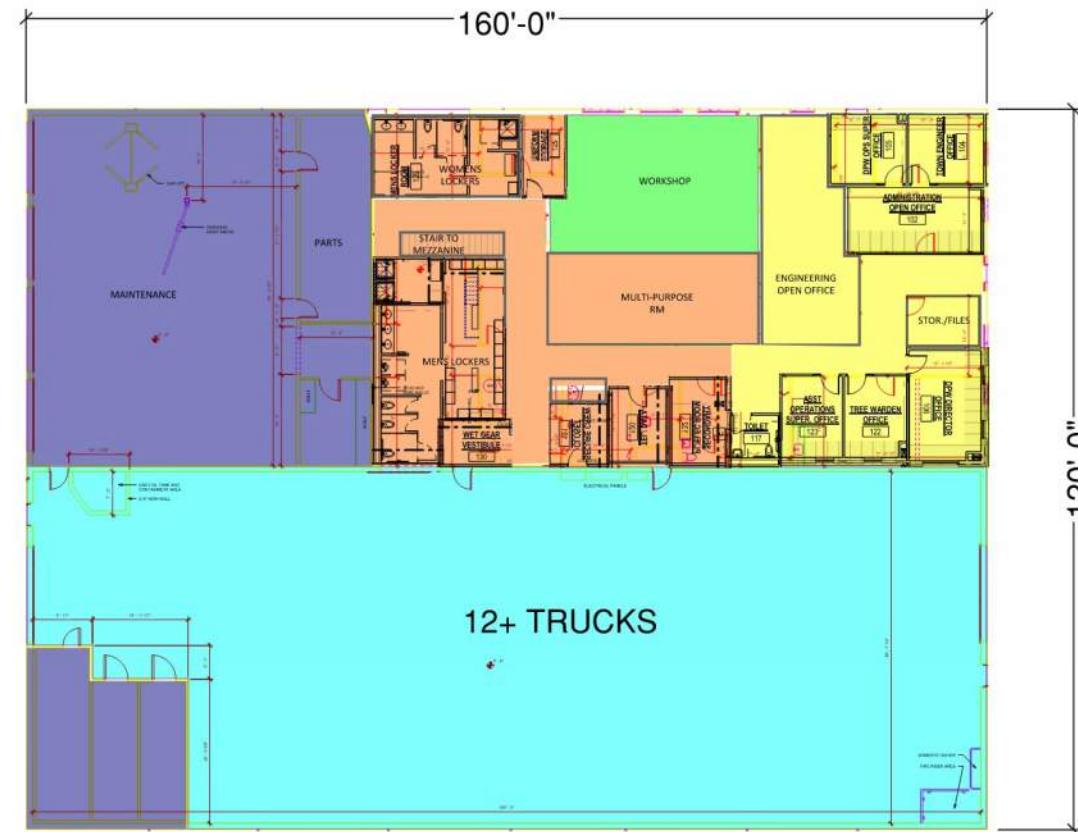
	EXISTING STRUCTURE
	AREA OF DEMOLITION
	ADMIN OFFICES
	STAFF SUPPORT
	WORKSHOPS
	MAINTENANCE
	FLEET STORAGE
	NEW PAVING

SUMMARY OF SCOPE

- Renovation of the existing building (limited to 30% area) to include:
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces

CONSTRAINTS

- Does not meet program needs
- Meets code minimums required for structural and accessibility upgrades
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 3 RENO + ATTACHED FLEET

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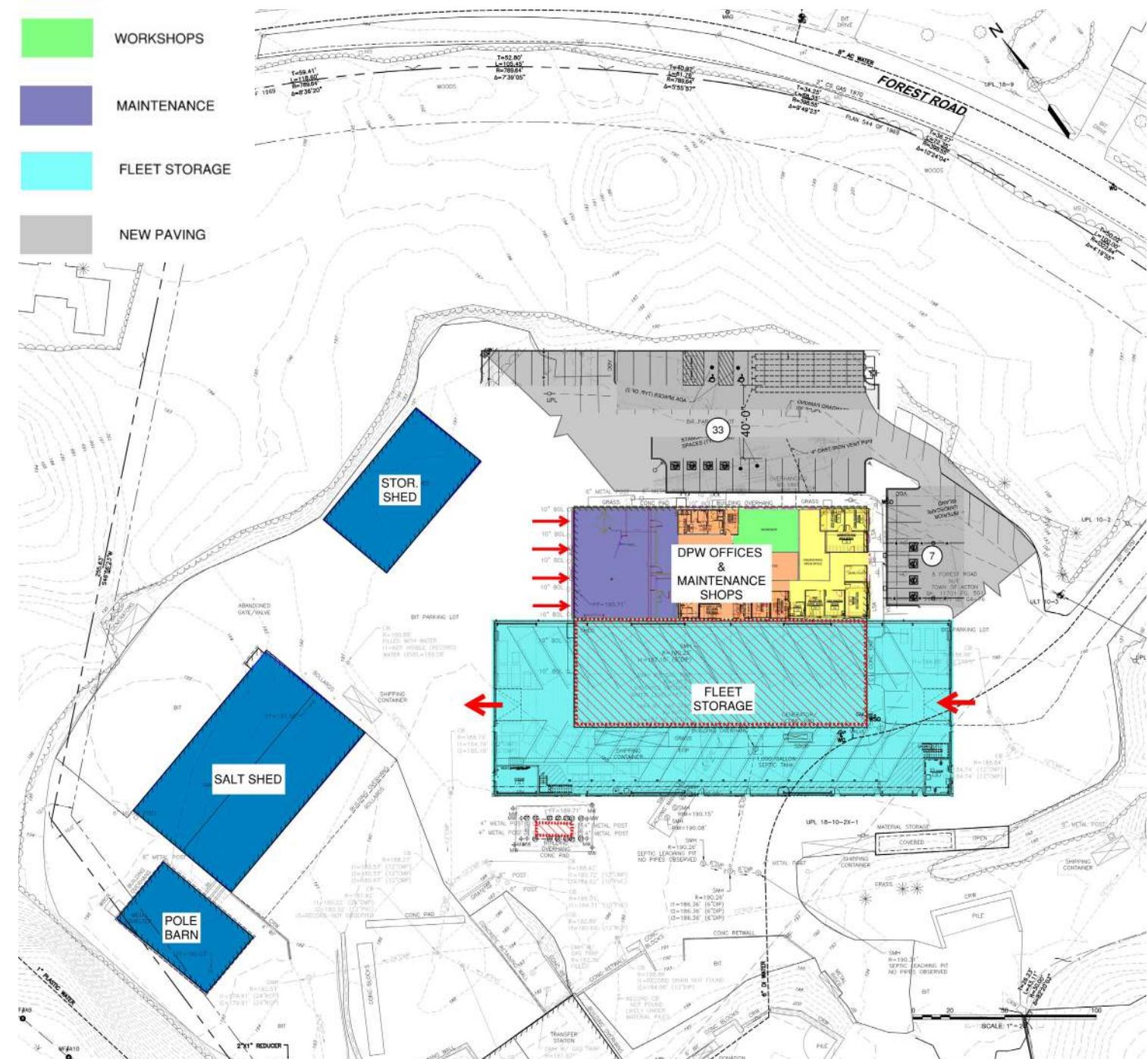
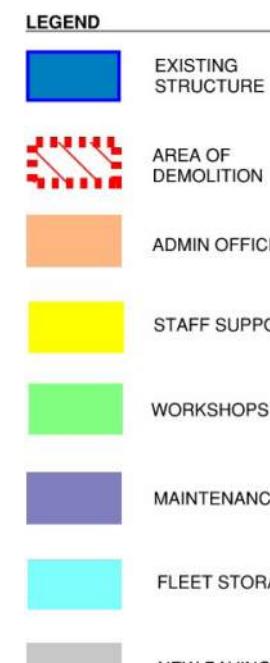
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26-Aug-25

Conceptual Options

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 3			
RENOVATION	9,600	\$362.03	\$3,475,523
NEW ADDITION	23,897	\$421.46	\$10,071,740
Sitework - Allowance			\$2,000,000
Demolition of existing DPW building	9,600	\$10.00	\$96,000
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS	33,497	\$471.40	\$15,790,513
Design and Estimating Contingency	15.0%		\$2,368,577
Escalation to Construction Start (August 2027)	6.00%		\$947,431
SUBTOTAL INCLUDING CONTINGENCIES			
Subcontractor Bonds		In rates	
General Conditions	8.0%		\$1,528,522
General Requirements	2.0%		\$382,130
Winter Conditions		excl	
Insurances - GLI/Builders Risk	2.00%		\$382,130
Bond	1.00%		\$191,065
Building Permit		Waived	
Overhead & Profit	4.0%		\$764,261
OPTION 3 - TOTAL ESTIMATED CONSTRUCTION COST	33,497	\$667	\$22,354,629



OPTION 3 RENO + ATTACHED FLEET

LEGEND

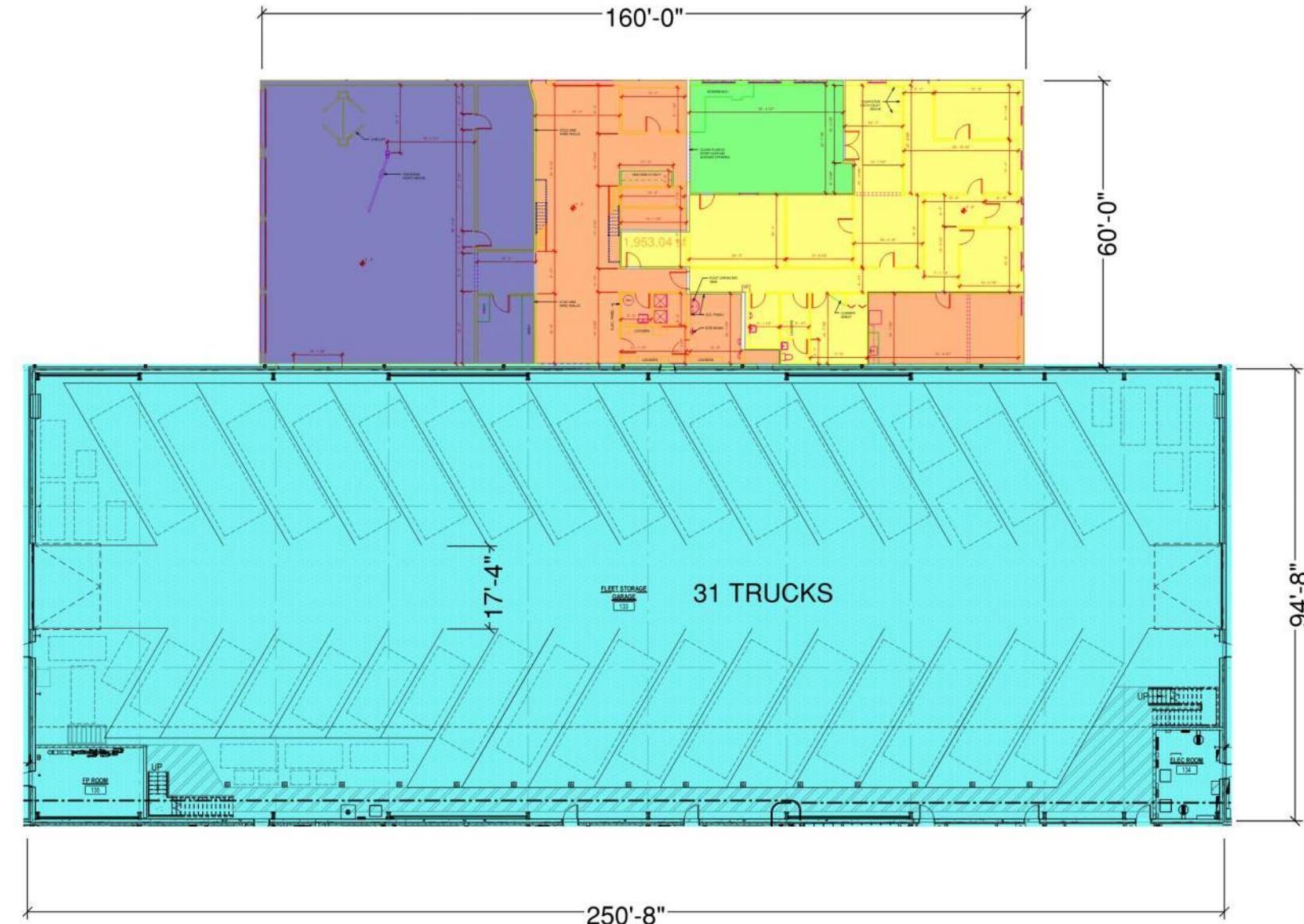
	EXISTING STRUCTURE
	AREA OF DEMOLITION
	ADMIN OFFICES
	STAFF SUPPORT
	WORKSHOPS
	MAINTENANCE
	FLEET STORAGE
	NEW PAVING

SUMMARY OF SCOPE

- Renovation of the northern half of the building to include
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces
- Replaces the southern half with a new fleet storage - addition to match size and layout of W&S DD design

CONSTRAINTS

- Requires most structural upgrades and complexity to add the attached addition
- Does not meet program needs for operations and staff and does not include a wash station
- Requires temporary staff and operations relocations



0' 8' 16'

SCALE: 1/16" = 1'-0"

OPTION 4A - RENO + NEW FLEET

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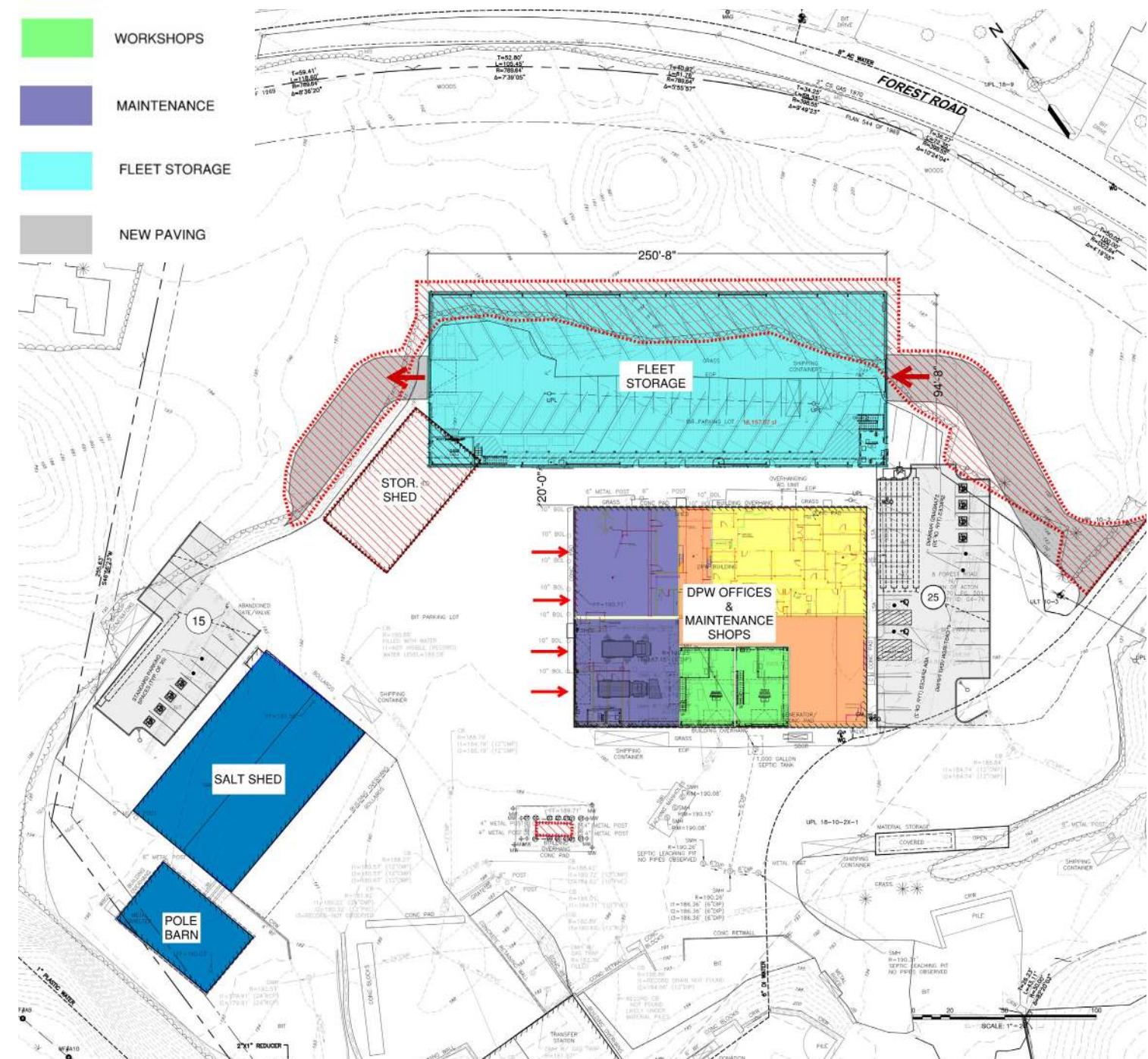
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Conceptual Options

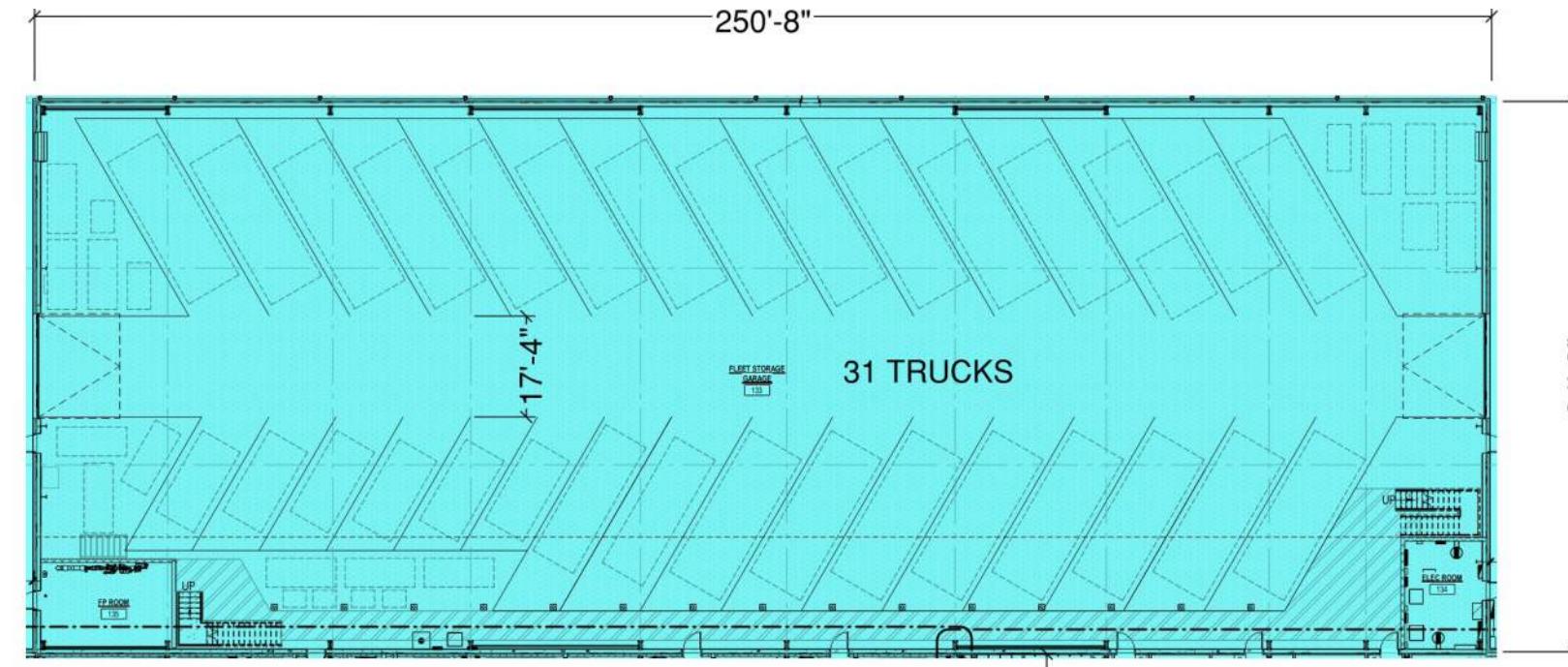
26-Aug-25

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 4A			
RENOVATION	19,200	\$280.37	\$5,383,173
NEW ADDITION	23,897	\$421.46	\$10,071,740
PREMIUM FOR ADDITIONAL STRUCTURAL WORK			\$250,000
Sitework - Allowance			\$3,000,000
Demolition of existing DPW building			ETR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS	43,097	\$437.44	\$18,852,163
Design and Estimating Contingency	15.0%		\$2,827,824
Escalation to Construction Start (August 2027)	6.00%		\$1,131,130
SUBTOTAL INCLUDING CONTINGENCIES			\$22,811,117
Subcontractor Bonds		In rates	
General Conditions	8.0%		\$1,824,889
General Requirements	2.0%		\$456,222
Winter Conditions		excl	
Insurances - GLI/Builders Risk	2.00%		\$456,222
Bond	1.00%		\$228,111
Building Permit		Waived	
Overhead & Profit	4.0%		\$912,445
OPTION 4A - TOTAL ESTIMATED CONSTRUCTION COST	43,097	\$619	\$26,689,006



OPTION 4A - RENO + NEW FLEET

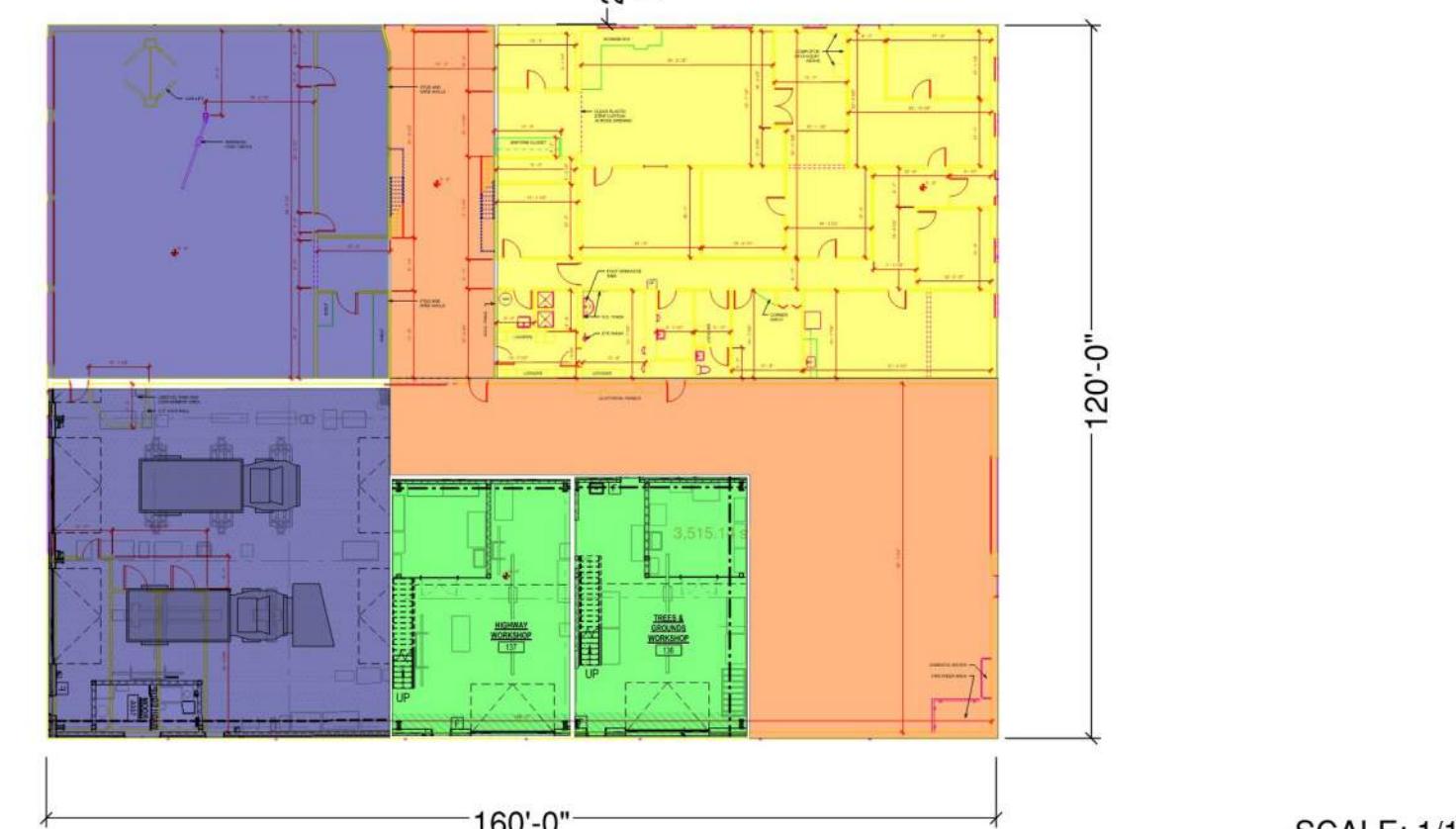


SUMMARY OF SCOPE

- New fleet storage building to match size and layout as W&S DD design
- Renovation of the existing Maintenance/Support/Admin spaces with an expansion into the Fleet Storage space; includes:
 - structural upgrades
 - repairs to the exterior envelope
 - accessible upgrades
 - refurbishment of all interior spaces
 - new electric HVAC system, lighting, and plumbing for all spaces

CONSTRAINTS

- Renovated building will be less energy efficient than a new building
- Does not accommodate a separate wash station



SCALE: 1/16" = 1'-0"

OPTION 4B - RENO FLEET + NEW ADMIN/SUPPORT/MAINT.

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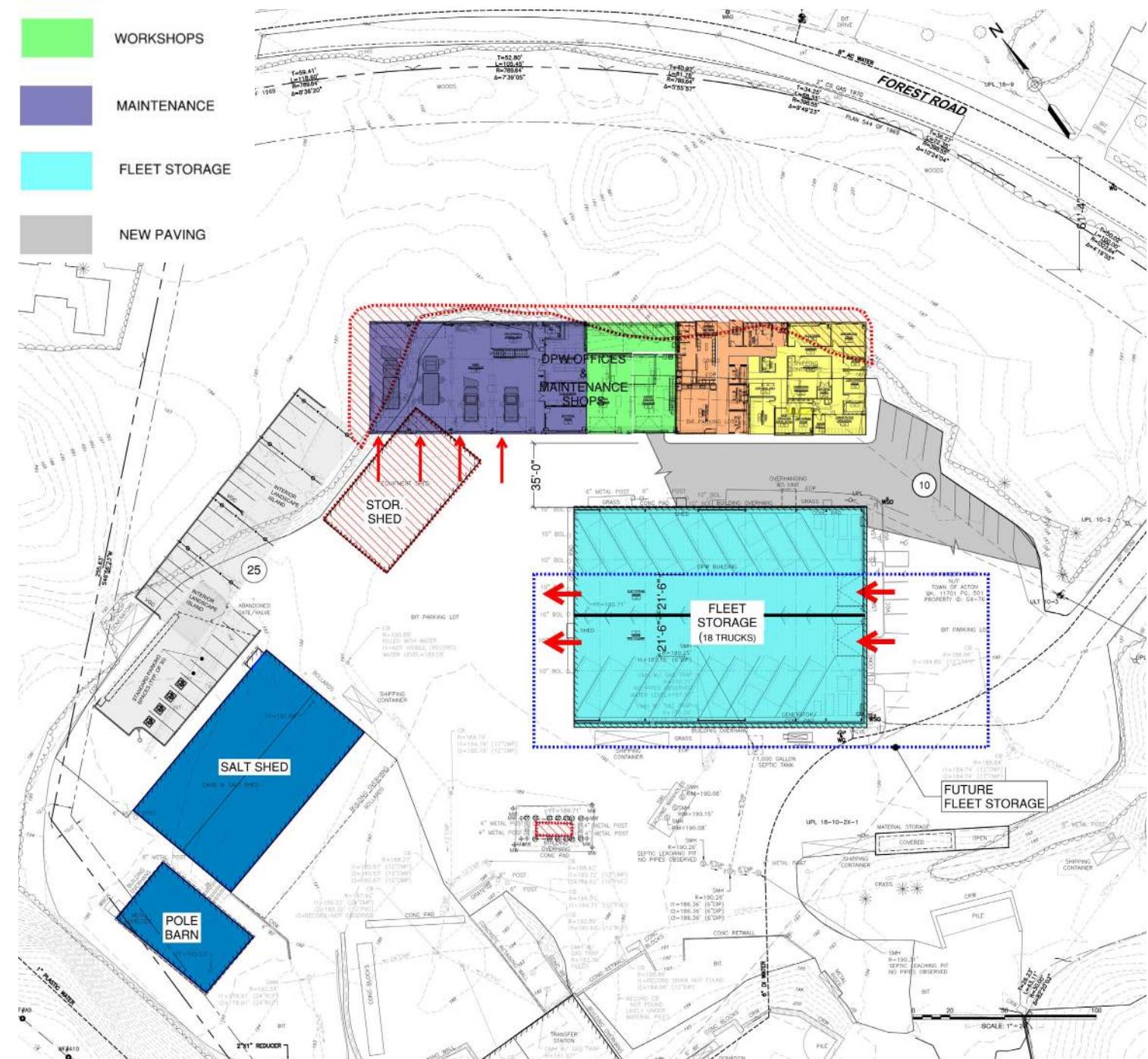
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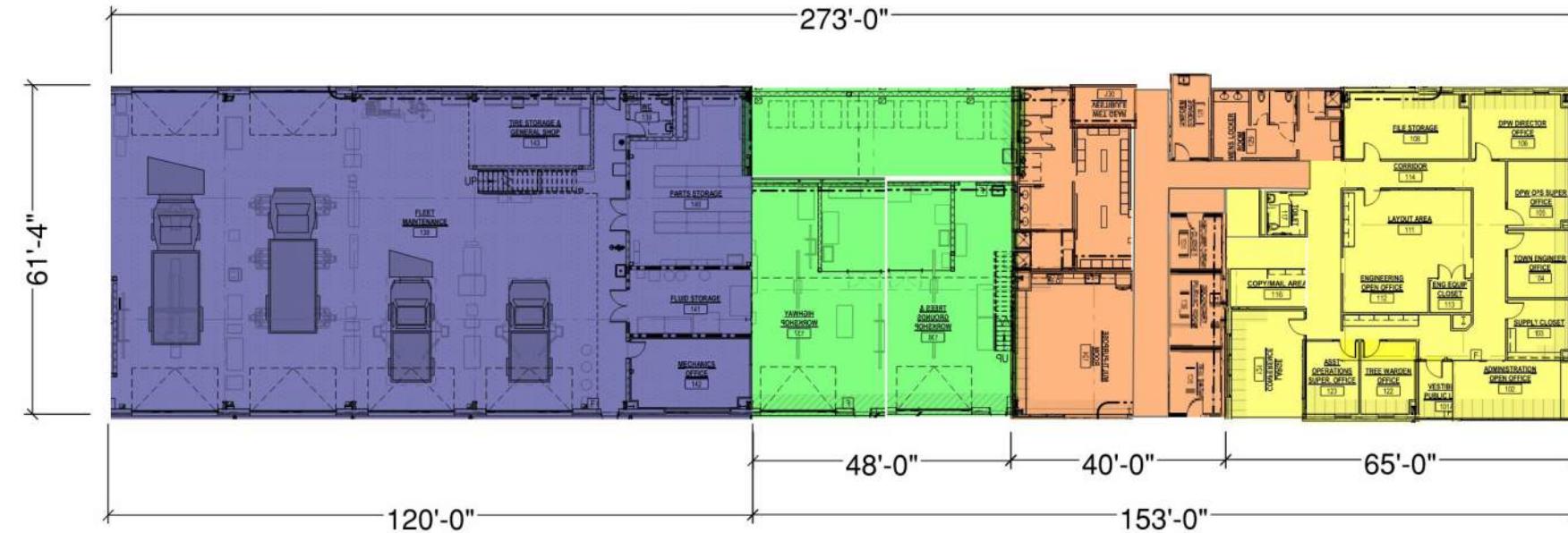
26-Aug-25

MAIN CONSTRUCTION COST SUMMARY

	Gross Floor Area	\$/sf	Estimated Construction Cost
OPTION 4B			
RENOVATION	19,200	\$231.81	\$4,450,745
NEW ADDITION	18,323	\$488.44	\$8,949,657
Sitework - Allowance			\$3,000,000
Demolition of existing DPW building			ETR
Existing DPW building, hazmat allowance			\$147,250
SUBTOTAL TRADE COSTS	37,523	\$441.00	\$16,547,652
Design and Estimating Contingency	15.0%		\$2,482,148
Escalation to Construction Start (August 2027)	6.00%		\$992,859
SUBTOTAL INCLUDING CONTINGENCIES			
Subcontractor Bonds		In rates	
General Conditions	8.0%		\$1,601,813
General Requirements	2.0%		\$400,453
Winter Conditions		excl	
Insurances - GLI/Builders Risk	2.00%		\$400,453
Bond	1.00%		\$200,227
Building Permit		Waived	
Overhead & Profit	4.0%		\$800,906
OPTION 4B - TOTAL ESTIMATED CONSTRUCTION COST	37,523	\$624	\$23,426,511



OPTION 4B - RENO FLEET + NEW ADMIN/SUPPORT/MAINT.

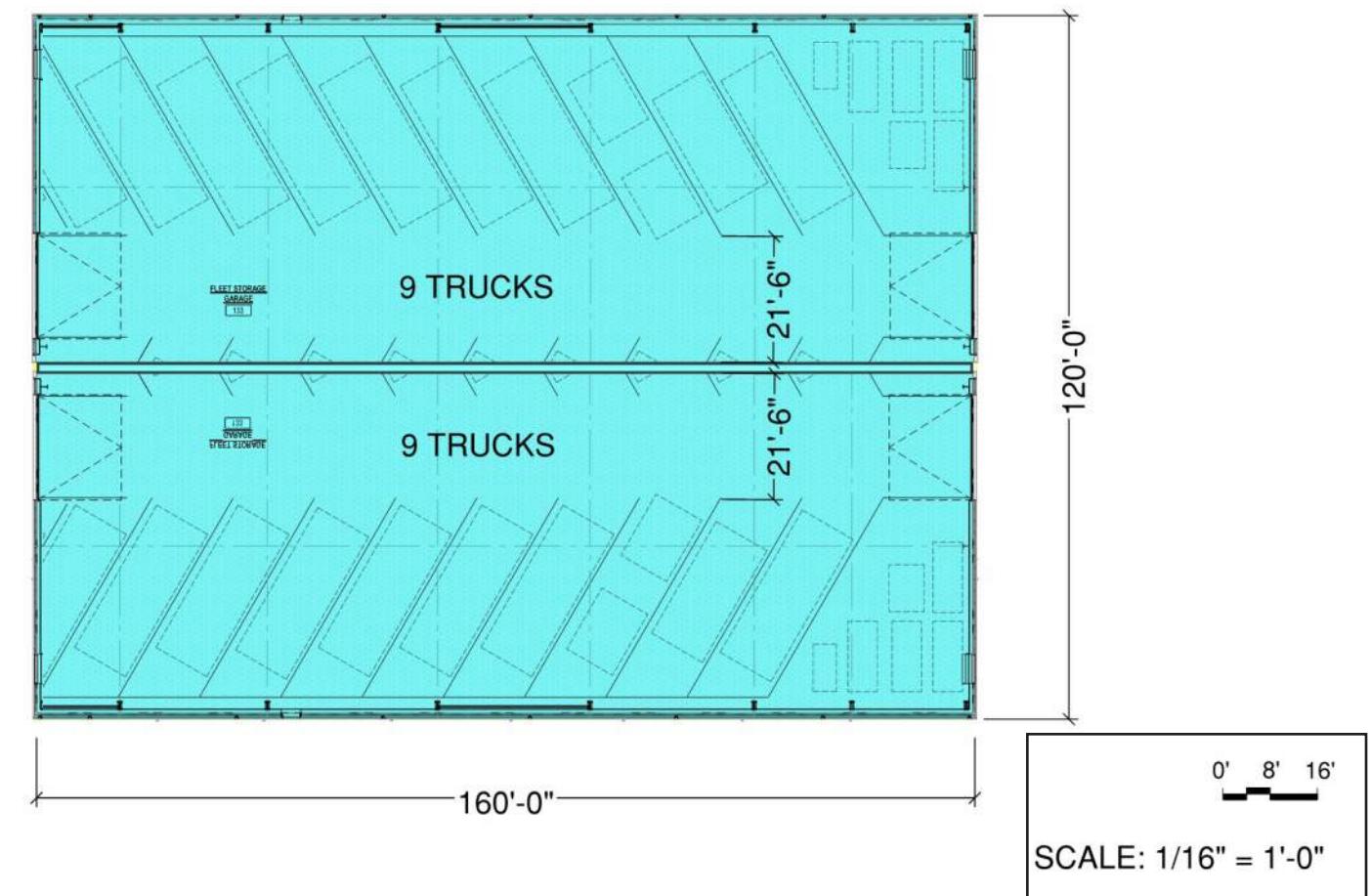


SUMMARY OF SCOPE

- Approx. 10% reduction in the W&S DD design building area
- Existing building is converted to all Fleet storage; includes:
 - structural upgrades
 - repairs to the exterior envelope
 - new electric HVAC system, lighting, and plumbing

CONSTRAINTS

- Needs for truck storage not met, but room for future right-sized new fleet building and possible future wash station
- Limited openings allowed in demising load bearing wall.



OPTION ESTIMATES

CONCEPT OPTIONS	CONSTR ESTIMATE	AREA	\$/SF	PROJECT ESTIMATE
40% DD (3/27/25 Estim.)	\$29,791,811	44,872 GSF	\$664/SF	\$39,783,199
Option 1: VE New	\$27,551,084	40,641 GSF	\$678/SF	\$34,438,855
Option 2: Reno Existing	\$8,537,268	19,200 GSF	\$445/SF	\$10,671,585
Option 3: Reno + Attached Fleet Storage	\$22,354,629	33,497 GSF	\$667/SF	\$27,943,286
Option 4A: Reno + New Fleet Storage	\$26,689,006	43,097 GSF	\$619/SF	\$33,361,256
Option 4B: Reno + New Admin/Maint	\$23,426,511	37,523 GSF	\$624/SF	\$29,283,139

NOTES:

1. 6% escalation of Construction Estimate assumed for Aug. '27 construction start, included in Project Estimates
2. Project Estimates based on 125% of Construction Estimate

OPTION PROGRAM AREA COMPARISON

OPTION	FLEET STORAGE AREA	ADMIN. AREA	STAFF SUPPORT AREA	WORKSHOPS AREA	MAINT. AREA	WASH STATION	MEZZANINE STORAGE (not included in GSF)	TOTAL GSF	% GSF Reduction from DD
40% DD (3/27/25 Estim.)	23,897	4,677	3,268	3,502	7,893	1,635	8,350	44,872	
Option 1: VE New	23,897	3,690	2,750	2,944	7,360	0	8350	40,641	9%
Option 2: Reno Existing	8,867	2,363	3,000	792	4,178	0	1000	19,200	
Option 3: Reno + Attached Fleet Storage	23,897	2,363	3,000	792	3,445	0	7,000	33,497	25%
Option 4A: Reno + New Fleet Storage	23,897	5,060	4,570	2,650	6,920	0	7,000	43,097	4%
Option 4B: Reno + New Admin/Maint	19,200	4,864	3,492	2,840	7,127	0	3,350	37,523	16%

OPTION SCORES

OPTION SCORES		40% DD 3/27/25 Estim. + 3/28/25 Dwgs.	SCORE	OPTION 1: VE of 40% DD New Bldg	SCORE	OPTION 2: Reno Existing	SCORE	OPTION 3: Reno + Attached Fleet Storage	SCORE	OPTION 4A: Reno + New Fleet Storage	SCORE	OPTION 4B: Reno + New Admin/Maint	SCORE
PROJECT COST	CONST + INDIR.** AREA COST/SF	\$39,783,199 44,872 SF \$887	0 5 5	\$34,438,855 40,641 SF \$678	3 4 4	\$10,671,585 19,200 SF \$445	5 0 0	\$27,943,286 33,977 SF \$667	5 3 3	\$33,361,256 43,097 SF \$619	3 5 5	\$29,283,139 37,523 SF \$624	4 4 4
PROGRAM	FLEET STORAGE ADMIN. STAFF SUPPORT WORKSHOPS MAINTENANCE MEZZANINE STOR. WASH STATION SUBTOTAL	31 Veh. 5 5 5 5 5 5 35	31 veh. Shared kit, conf rms Slightly reduced area Slightly reduced area Same as 40% DD Same as 40% DD Alt. for future 32	5 4 4 4 5 5 5	12 +/- veh. Reno only Reno only Reno only Reno only Reno only Reno only 6	1 1 1 1 1 1 0	31 veh. Reno only Reno only Reno only Reno only Reno only Reno + New 0	5 1 1 1 1 4 0	31 veh. Reno + Expansion Reno + Expansion Reno + Expansion Reno + Expansion Reno + Expansion Reno + New 13	5 4 5 4 5 4 0	18 veh. Shared kit, conf rms Slightly reduced area Slightly reduced area Same as 40% DD In new Bldg only 0	3 4 4 4 5 3 0	
SITE	PARKING CIRCULATION ABUTTER IMPACTS SUBTOTAL	40 spaces 5 5 5 15	40 spaces Operations shielded Operations shielded 14	5 4 5	40 spaces Operations exposed Operations exposed 7	5 2 0	40 spaces Operations exposed Operations exposed 0	5 4 0	40 spaces Operations shielded Operations shielded 5	5 4 5	35 spaces Operations shielded 5	4 5 13	
SCHEDULE/PHASING		Req. relocations 0	Req. relocations 0	Req. relocations 0	Can be phased 5	Can be phased 5	Can be phased 5	Can be phased 5	Can be phased 5	Can be phased 5	Can be phased 5		
TOTAL SCORE		55	53	18	35	54	49						

NOTES:

1. 31 vehicles includes winter fleet
2. Wash Station not included in concept option areas
3. Parking: provides separate parking for staff and visitors, meets # of spaces per W&S Study
4. Circulation: provides operational efficiency for DPW fleet
5. Abutter Impacts: minimizes noises in to neighborhood

** Includes 6% Escalation for Aug '27 start (Note: 40% DD Proj. Cost estimate from 3/25 was \$37,995,690)

OPTION SCORES

OPTION SCORES		40% DD 3/27/25 Estim. + 3/28/25 Dwgs.	SCORE	OPTION 1: VE of 40% DD New Bldg	SCORE	OPTION 4A: Reno + New Fleet Storage		SCORE	OPTION 4B: Reno + New Admin/Maint	SCORE
PROJECT COST	CONST + INDIR.** AREA COST/SF	\$39,783,199 44,872 SF \$887	0 5	\$34,438,855 40,641 SF \$678	3 4	\$33,361,256 43,097 SF \$619	3 5	\$29,283,139 37,523 SF \$624	4 4	
PROGRAM	FLEET STORAGE ADMIN. STAFF SUPPORT WORKSHOPS MAINTENANCE MEZZANINE STOR. WASH STATION SUBTOTAL	31 Veh. 5 5 5 5 5 5 35	31 veh. Shared kit, conf rms Slightly reduced area Slightly reduced area Same as 40% DD Same as 40% DD Alt. for future 32	5 4 4 4 5 5 5	31 veh. Reno + Expansion Reno + Expansion Reno + Expansion Reno + Expansion Reno + New 0 27	5 4 5 4 5 4 0	18 veh. Shared kit, conf rms Slightly reduced area Slightly reduced area Same as 40% DD In new Bldg only 0 23	3 4 4 4 5 3 0		
SITE	PARKING CIRCULATION ABUTTER IMPACTS SUBTOTAL	40 spaces 5 Operations shielded 15	40 spaces 4 Operations shielded 14	5 4 5 14	40 spaces 4 Operations shielded 14	5 4 5 14	35 spaces 4 Operations shielded 13	4 4 5 13		
SCHEDULE/PHASING		Req. relocations 0	Req. relocations 0			Can be phased 5	Can be phased 5			
TOTAL SCORE		55	53			54			49	

NOTES:

1. 31 vehicles includes winter fleet
2. Wash Station not included in concept option areas
3. Parking: provides separate parking for staff and visitors, meets # of spaces per W&S Study
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** Includes 6% Escalation for Aug '27 start (Note: 40% DD Proj. Cost estimate from 3/25 was \$37,995,690)